PROJECT: NEW BUILD

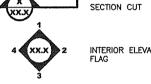
SITE NAME: CO3 POP GUN POP

1445 STATE HIGHWAY 135 ADDRESS:

GUNNISON, CO 81230

DRAWING SYMBOL LEGEND

GENERAL NOTES



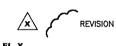
INTERIOR ELEVATION



EXTERIOR ELEVATION



DETAIL OR PLAN ENLARGEMENT



SPOT ELEVATION

GRID REFERENCE

FIBER OPTIC CABLE

WOODEN FENCE

EXISTING TOPOGRAPHY

FI FCTRICAL TELCO ---- E/T--

ELEC & TELCO COAXIAL CABLE

GAS LINE WATER LINE

SEWER LINE SANITARY SEWER

-----FIRER-----

OVERHEAD UTILITIES CHAIN LINK FENCE

LEASE AREA/ PROPERTY BOUNDARY RAILROAD TRACKS -**^**^^ STEEL STUD BATT INSULATION

-----5280----

----5280-----PROPOSED TOPOGRAPHI \Rightarrow

1. DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSED ONLY, UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.

2. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRM THAT THE PROJECT MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY ERRORS, OMISSIONS, OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING.

3. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S, VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE

6. ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.

7. THE STRUCTURAL COMPONENTS OF THIS PROJECT SITE/FACILITY ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.

8. ANTENNA SUPPORTING STRUCTURE IS UNDER A SEPARATE CONTRACT. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION SUBCONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF PERSONNEL AND PROPERTY FROM HAZARDOUS EXPOSURE TO OVERHEAD DANGERS

9. GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.

10. DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.

11. THE FACILITY IS CELLULAR RADIO FOUIPMENT AND ANTENNAS.

12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION UPON COMPLETION OF WORK. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE

13. CONTRACTOR SHALL ENSURE THE GENERAL WORK AREA IS KEPT CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY, PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.

14. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.

15. SPECIAL INSPECTION TESTING REQUIRED SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR PER SECTION 1701 OF THE UNIFORM BUILDING CODE (UBC) FOR THE

. CONCRETE: DURING THE TAKING OF CONCRETE TEST SPECIMENS AND PLACING STRUCTURAL REINFORCING AND STRUCTURAL CONCRETE, VERIFY REINFORCING SIZE, PLACEMENT AND GRADE,

B. BOLTS, AND ANCHORS IN CONCRETE HOLD-DOWN ANCHOR BOLTS, INSPECT SIZE, LENGTH, TYPE

PROJECT TEAM

OWNER CONTACT: CONTRACTING & PURCHASING MANAGER
CONTACT: ROCKIE HURRELL PHONE: 719.502.2007

SITE ACQUISITIONIST: CLOSSER CONSULTING KELLY HARRISON 1917 LOWELL BLVD. PHONE: 303,748,0599

CLIENT: VERIZON WIRELESS CONSTRUCTION MANAGER

MIKE GIOVANNI MIKE GIOVANNI 3131 S. VAUGHN WAY SUITE 550 AURORA, CO 80014 CELL: 303.489.0009 DESK: 303.873.2620

RF ENGINEER:

BILL KOWALCHUK SENIOR RF ENGINEER 3131 S. VAUGHN WAY SUITE 550

ARCHITECT:

5935 S. ZANG ST. SUITE 280 LITTLETON, CO 80127 PHONE: 303 932 9974 FAX: 303.932.6561

PRECISION SURVEY 1780 BELLAIRE ST.

DESCRIPTION SHFFT T1.0 TITLE SHEET LAND SURVEY LAND SURVEY LS2 FAX: 303.873.2682 153 LAND SURVEY

A3.0

A4 0

ELEVATION

DETAILS

CHARLES STECKLY

ELECTRICAL ENGINEER:

DENNIS GREVEL 12311 WEST PRENTICE PLACE LITTLETON, CO 80127 PHONE: 303.478.3337

& MAPPING, INC CHRISTOPHER P. JULIANA, P.L.S **SUITE 230** DENVER, CO 80222 PHONE: 303.753.9799

VERIZON WIRELESS AURORA, CO 80014 PHONE: 303,929,2011

CIVIL SURVEYOR:

DRAWING INDEX

TC-1 TRAFFIC CONTROL PLAN ENLARGED SITE PLAN

A5.0 FOUNDATION PLAN & DETAILS

ELECTRICAL DETAILS

E1.0 PANEL SCHEDULE & CALCULATIONS F2 0 ELECTRICAL SITE PLAN E3.0 GROUNDING PLAN E3.1 GROUNDING SCHEMATIC

VICINITY MAP



JURISDICTION GUNNISON ZONING DESIGNATION: OCCUPANCY GROUP:

CONSTRUCTION TYPE: FULLY SPRINKLERED:

GOVERNING CODES: 2009 IBC, 2009 IMC, 2009 IFC, 2009 NEC

KVLE Site **-**♠.

PROJECT DESCRIPTION

THE ADDITION (2) NEW MICROWAVE DISHES ONE @ 25'-0" A.F.G. AND ONE @ 80'-0" A.F.G. INSTALLATION OF A NEW PREFABRICATED SHELTER AND DIESEL GENERATOR NEAR BASE OF EXISTING GUYED

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

DIRECTIONS TO SITE

FROM VERIZON WIRELESS OFFICE: TAKE 1-225 SOUTH, MERGE ONTO 1-25 NORTH EXIT ONTO US-285/HAMPDEN AVE AND TURN LEFT. YOU WILL STAY ON 285 SOUTH FOR 136.1 MILES. TURN RIGHT AT US-50 WEST, TRAVEL 59.4 MILES. TURN RIGHT AT CO-135 N/N MAIN ST. TRAVEL 1.5 MILES. TURN LEFT INTO KYLE PROPERTY.

GENERAL CONTRACTOR NOTE

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. THESE DRAWINGS ARE ONLY TO SCALE WHEN PLOTTED ON 24x36 SHEET. USE GRAPHIC SCALE WHEN PLOTTED ON 11x17 SHEET. CALL BEFORE YOU DIG - COLORADO LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE. UTILITY NOTIFICATION CENTER OF COLORADO - 1-800-922-1987

THESE DRAWINGS MAY NOT SHOW ALL UNDERGROUND PIPING AND UTILITIES. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING ALL EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES.

VERIZON WIRELESS IS RESPONSIBLE FOR ALL UTILITY LOCATES AND UTILITY RELOCATIONS REQUIRED FOR THIS INSTALLATION. VERIZON WIRELESS WILL SCHEDULE AND COORDINATE ALL WORK WITH THE OWNER TO ENSURE NO DISRUPTION TO OWNERS OPERATIONS.

APPROVAL BLOCK

SIGNATURE TITLE DATE OWNER ENGINEER PROJECT MANAGER

ACKNOWLEDGMENT OR "SIGN-OFF" BY PARTIES TO THE CONSTRUCTION DRAWINGS DOES NOT CONSTITUTE ALTERATION OF THE LEASE TERMS.

verizon wireless

VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PRO IECT INFORMATION: CO3 POP GUN POP

1445 STATE HIGHWAY 135, **GUNNISON, CO 81230**

| REV: | DATE: | DESCRIPTION: | By: |
|------|----------|---------------------|-----|
| A | 09/20/11 | CD REVIEW | SSB |
| 8 | 11/15/11 | GENERATOR ADD | SSB |
| O | 02/22/12 | UPDATED FIBER ROUTE | SSB |
| D | 04/18/12 | UPDATED FIBER ROUTE | SSB |
| 0 | 04/23/12 | CD ISSUE | SSB |
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PLANS PREPARED BY:

ARCHITECTURE - PLANNING - DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITTLETON, COLORADO 80127 OFFICE: 303,932,9974



DRAWN BY CHK. APV. SSBUF CONS

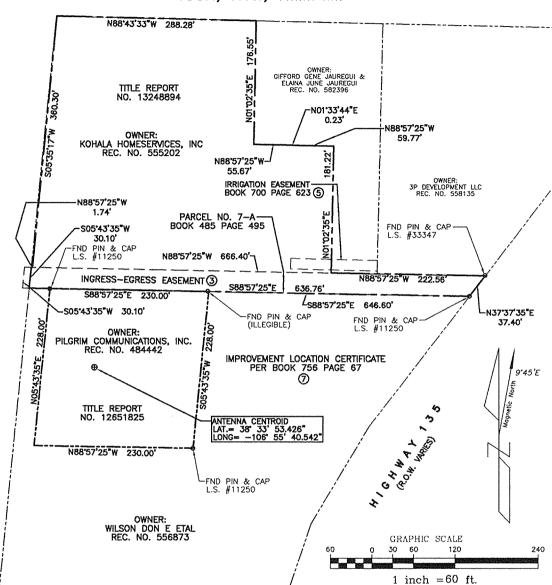
CONSULTANT

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

SITUATED IN SW1/4 SECTION 25 T50N, R1W, N.M.P.M.



GEOGRAPHIC COORDINATES

LATITUDE: N 38' 33' 53.4259" (NAD83) LONGITUDE: W 106' 55' 40.5416" (NAD83) GROUND ELEVATION: 7744.52' (NAVD88)

BENCHMARK

- 1.) NGS MONUMENT DESIGNATION X 423/ PID JL0527 ELEVATION=7681.74' (NAVD88) 2.) CHISELED BOX ON CONCRETE TOWER BASE
- ELEVATION=7744.52' (NAVD88)

BASIS OF BEARINGS

COLORADO STATE PLANE CENTRAL ZONE (NAD83)
CLASSIFICATION—FIRST
MINIMUM GEOMETRIC ACCURACY
STANDARD: 5.0cm + 1:10,000

DATE OF FIELD SURVEY

JUNE 7, 2011

TITLE REPORT

PREPARED BY: FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER: 12651825 EFFECTIVE DATE: APRIL 04, 2012 AT 8:00 A.M.

NOTES

- 1.) REFERENCE WAS MADE IN THE PREPARATION OF THIS MAP TO A TITLE REPORT AS REFERENCED HEREON. I HAVE MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THE LESSOR'S LEGAL DESCRIPTION AND RECORD BOUNDARY ARE SHOWN HEREON FOR REFERENCE ONLY.
- 2.) THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED TO AN EXPERT CONSULTANT.
- 3.) THERE MAY BE ADDITIONAL BURIED OR UNDERGROUND UTILITIES IN THE AREA WHICH THE SURVEYOR IS UNAWARE OF AND NO LIABILITY FOR SUCH IS ASSUMED HEREIN. ALL UNDERGROUND UTILITIES SHOULD BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY.
- 4.) THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR.
- 5.) THIS SURVEY AND ACCOMPANYING DESCRIPTION(S) ARE NOT INTENDED FOR PURPOSE OF TRANSFER OF TITLE OR SUBDIVISION OF LAND.
- 6.) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON. CRS 13-80-105(3A).
- 7.) THIS IS NOT A BOUNDARY SURVEY, LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT.
- 8.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY PRECISION SURVEY & MAPPING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD.

 9.) MAGNETIC DECLINATION INFORMATION SHOWN HEREON WAS PROVIDED BY THE NATIONAL GEOPHYSICAL DATA CENTER.

LEGAL DESCRIPTION

TRACT IN NW 1/4 SW ¼, SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M., COUNTY OF GUNNISON, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN COMMON WITH THE SOUTHWEST CORNER OF TRACT 7-A OF THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO, PROJECT NO. S 0135 (2) FROM WHENCE THE E1/4 CORNER OF SAID SECTION 25 BEARS NORTH 85°25′08″ EAST 4420.95 FEET; THENCE SOUTH 89°51′EAST 30.1 FEET ALONG THE SOUTH LINE OF SAID TRACT 7-A TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°51′EAST 230.0 FEET ALONG THE SOUTH LINE OF SAID TRACT 7-A TO A POINT; THENCE SOUTH 04′50′ WEST 228.0 FEET TO A POINT; THENCE NORTH 89°51′WEST 230.0 FEET TO A POINT; THENCE NORTH 89°51′EAST 230.0 FEET TO A POINT; THENCE NORTH 89°51′EAST 230.0 FEET TO A POINT ON THE WEST LINE OF A 30.0 FOOT EASEMENT; THENCE NORTH 04°50′EAST 228.0 FEET ALONG THE WEST LINE OF SAID EASEMENT TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR PURPOSES TO INCRESS AND EGRESS TO THE ABOVE DESCRIBED TRACT, OVER A TRACT OF LAND SITUATE IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, NEW MEXICO PRINCIPAL MERIDIAN, GUNNISON COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY OF COLORADO HIGHWAY 135 FROM WHENCE THE EAST QUARTER CORNER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE WEST, NEW MEXICO PRINCIPAL MERIDIAN, BEARS N84'59'30' EAST 3772.0 FEET; THENCE NORTH 89'51' WEST 666.4 FEET; THENCE SOUTH 04'50' WEST 30.1 FEET; THENCE SOUTH 89'51' EAST 646.6 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF COLORADO HIGHWAY 135; THENCE NORTH 36'44' EAST 37.4 FEET TO THE POINT OF BEGINNING.

AND BEING THE SAME PROPERTY CONVEYED TO PILGRIM COMMUNICATIONS, INC. FROM P. GENE HOOD BY QUITCLAIM DEED DATED JUNE 03, 1998 AND RECORDED JUNE 05, 1998 IN INSTRUMENT NO. 484149 AND RERECORDED ON JUNE 19, 1998 IN INSTRUMENT NO. 484442

CO RD 14 PROJECT SITE TO SEE TO SEE

ITEMS AFFECTING THE PROPERTY

- 2.) RIGHT-OF-WAY EASEMENT IN FAVOR OF: THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, ITS SUCCESSORS AND ASSIGNS RECORDED ON: 02/11/1970 RECORDED IN: DEED BOOK 416, PAGE 242 (DOES NOT FALL ON SUBJECT PROPERTY-DUE TO POOR LEGAL DESCRIPTION)
- 3.) RULE AND ORDER RECORDED ON: 06/06/1978 RECORDED IN: DEED BOOK 485, PAGE 495
- 7.) CROSS EASEMENT AGREEMENT RECORDED ON: 11/21/1994 RECORDED IN: DEED BOOK 756, PAGE 67
- 8.) RESOLUTION NO. 20 RECORDED ON: 04/26/1995 RECORDED IN: DEED BOOK 763, PAGE 49
- 10.) NOTICE OF LIEN: TAXPAYER: PILGRIM COMMUNICATIONS INC. RECORDED ON: 11/13/2006 RECORDED IN: INSTRUMENT NO. 570800 ORIGINAL \$ AMT.: \$3,666.66
- 11.) STATEMENT OF LIEN: TAXPAYER: KYLE/PILGRIM COMMUNICATIONS RECORDED ON: 02/29/2008 RECORDED IN: INSTRUMENT NO. 582399 ORIGINAL \$ AMT: \$4 565 68
- 12.) NOTICE OF RELEASE OF LEIN: RECORDED ON: 09/19/2011 RECORDED IN: INSTRUMENT NO. 608319 (ITEM NO. 2 ON UPDATED POLICY)

PROPOSED VERIZON WIRELESS LEASE AREA:

A LEASE AREA LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88'57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N63'20'43"W A DISTANCE OF 168.57 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442:

THENCE N64'59'51"W A DISTANCE OF 20.00 FEET; THENCE N25'00'09"E A DISTANCE OF 35.00 FEET; THENCE S64'59'51"E A DISTANCE OF 20.00 FEET; THENCE S25'00'09"W A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING.

PROPOSED 12' ACCESS EASEMENT (STRIP "A"):

AN EASEMENT 12.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 6.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88'57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N63'17'03"W A DISTANCE OF 162.57 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N25'00'09"E A DISTANCE OF 33.89 FEET; THENCE N45'59'26"E A DISTANCE OF 107.87 FEET; THENCE N53'51'38"E A DISTANCE OF 81.90 FEET TO THE NORTHERLY OF SAID LANDS AND THE POINT OF TERMINUS.

PROPOSED 12' NON-EXCLUSIVE ACCESS & UTILITY EASEMENT (STRIP "B"):

AN EASEMENT 12.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 6.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88'57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LANDS DESCRIBED AT RECEPTION NO. 484442, SAID POINT BEARS NO3'13'58"E A DISTANCE OF 227.40 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N53'51'38"E A DISTANCE OF 25.54 FEET; THENCE N82'47'01"E A DISTANCE OF 59.60 FEET; THENCE S88'57'25"E A DISTANCE OF 325.07 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF HIGHWAY 135 AND THE POINT OF TERMINUS.

PROPOSED 5' UTILITY EASEMENT:

AN EASEMENT 5.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 2.50 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88'57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N52"13"01"W A DISTANCE OF 166.63 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N16'33'22"W A DISTANCE OF 78.92 FEET; THENCE N31'47'16"E A DISTANCE OF 33.16 FEET TO THE POINT OF TERMINUS.



VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014 PHONE: 303.873.2800

CHARLES STECKLY ARCHITECTURE, Inc.
ARCHITECTURE - PLANNING - DESIGN
5935 SOUTH ZANG STREET, SUIE 280
LITILETON, COLORADO 80127
OFFICE: 303,932,9974
FAX: 303,932,8581

PRO JECT INFORMATION

SITE NAME

CO3 POPGUN POP 1445 STATE HWY 135 GUNNISON, CO., 81230

 REV:
 DATE:
 DESCRIPTION:
 BY

 0
 6/14/11
 SURVEY ISSUE
 JL

 1
 7/8/11
 ADDED LEASE AREA & EASEMENTS
 JL

 2
 7/14/11
 ADDED PROPERTY LINES TO THE NORTH
 JL

 3
 1/27/12
 REVISED EASEMENTS
 JL

5 4/11/12 REVISED/ADDED EASEMENTS

PLANS PREPARED BY:



1780 S. BELLAIRE ST., SUITE 185 DENVER, COLORADO 80222 OFFICE: (303) 753-9799 FAX: (303) 753-4044 R9377



CHRISTOPHER P. JULIANA, PLS NO. 31156

SURVEYOR'S CERTIFICATION

I, CHRISTOPHER P. JULIANA, A DULY
REGISTERED LAND SURVEYOR IN THE
STATE OF COLORADO, HEREBY
CERTIFY THAT THIS TOPOGRAPHIC
MAP AND THE IMPROVEMENTS
SHOWN HEREON ARE TRUE AND
CORRECT TO THE BEST OF MY
KNOW FDGF.

THIS SURVEY DOES NOT CONSTITUTE
A BOUNDARY SURVEY OF THE
LESSOR'S PROPERTY

SHEET TITLE

CIVIL SURVEY

SHEET NUMBER:

LS 1

TITLE REPORT

PREPARED BY: FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER: 13248894 EFFECTIVE DATE: APRIL 4, 2012 AT 8:00 A.M.

LEGAL DESCRIPTION

PROPERTY LOCATED IN GUNNISON, CO
A TRACT OF PARCEL OF LAND OF THE DEPARTMENT OF TRANSPORTATION, STATE OF
COLORADO, PROJECT NO. S 0135 (2) SEC. 2 CONTAINING 3.385 ACRES, MORE OR LESS, IN
THE N1/42SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, OF THE NEW
MEXICO PRINCIPAL MERIDIAN, IN GUNNISON COUNTY, COLORADO, SAID TRACT OR PARCEL
BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL IOOR RE

BEGINNING AT A POINT ON THE NORTH LINE OF THE N1/2SW1/4 OF SEC. 25, FROM WHICH THE NE CORNER OF SEC. 25 BEARS N. 59' 08' 30" E. A DISTANCE OF 5094.3 FEET;

1. THENCE S. 4' 26' 30" W. A DISTANCE OF 354.1 FEET;

- 2. THENCE S. 89' 51' E. A DISTANCE OF 372.5 FEET;
- 3. THENCE N. O' O9' E. A DISTANCE OF 353.1 FEET;
- 4. THENCE N. 89° 51' W. A DISTANCE OF 346.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PORTION OF SAID TRACT OR PARCEL CONTAINS 2.912 ACRES, MORE OR LESS.

ALSO

PARCEL 7A

A TRACT OR PARCEL OF LAND OF THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO, PROJECT NO. S 0135 (2) SEC. 1 CONTAINING 0.473 ACRES, MORE OR LESS, IN THE N1/2SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, OF THE NEW MEXICO PRINCIPAL MERIDIAN, IN GUNNISON COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF THAT PROPERTY DESCRIBED IN B. 381 AT P. 115 OF THE GUNNISON COUNTY RECORDS IN THE SW1/4 OF SAID SEC. 25, FROM WHICH THE E1/4 COMER OF SAID SEC. 25 BEARS N. 84° 59° 30" E. A DISTANCE OF 3722.0 FFFT:

- 1. THENCE N. 89° 51' W. ALONG THE SOUTHERLY PROPERTY LINE DESCRIBED IN SAID B. 381 AT P.115, A DISTANCE OF 696.5 FEET TO THE WEST PROPERTY LINE DESCRIBED IN B. 403 OF THE GUNNISON COUNTY RECORDS:
- 2.THENCE S. 4' 50' W., ALONG SAID WEST PROPERTY LINE, A DISTANCE OF 30.1 FEET; 3.THENCE S. 89' 51' E. A DISTANCE OF 676.7 FEET;
- 4.THENCE N. 36' 44' E. A DISTANCE OF 37.4 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PORTION OF SAID TRACT OR PARCEL CONTAINS 0.473 ACRES, MORE OR LESS

THE ABOVE DESCRIBED TRACT OR PARCEL CONTAINS 3.385 ACRES, MORE OR LESS,

BOTH PARCELS SUBJECT TO EXISTING UTILITIES AND EASEMENTS

SUBJECT TO ALL EXISTING RIGHTS OF ACCESS OVER AND ACROSS PARCEL 7A, SPECIFIED IN B. 485 AT P. 495 OF THE GUNNISON COUNTY RECORDS.

AND BEING THE SAME PROPERTY CONVEYED TO MOUNTAIN WINDOWS, INC. FROM DEPARTMENT OF TRANSPORTATION STATE OF COLORADO BY QUITCLAIM DEED DATED SEPTEMBER 18, 1995 AND RECORDED SEPTEMBER 18, 1995 IN DEED BOOK 770, PAGE 529; CORRECTIVE DEED RECORDED ON FEBRUARY 26, 1996 IN DEED BOOK 779, PAGE 72.

A TRACT OF LAND WITHIN THE N1/2SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, NEW MEXICO PRINCIPAL MERIDIAN, GUNNISON COUNTY, COLORADO; SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 25, (AS WITNESSED BY A PRIVATE SURVEYOR'S MONUMENT INSCRIBED "LS 11250"), THENCE SOUTH 89' 37' 08" EAST 929.16 FEET ALONG THE NORTH BOUNDARY OF SAID N1/25W1/4 TO THE NORTHWEST CORNER OF THE ARROW GAS PROPERTY, (AS DESCRIBED IN BOOK 381 AT PAGE 115 OF THE RECORDS OF GUNNISON COUNTY); SAID CORNER ALSO BEING THE POINT OF BEGINNING FOR THE HEREIN DESCRIBED TRACT; THENCE THE FOLLOWING COURSES AROUND SAID TRACT;

- 1. SOUTH 04° 41' 42" WEST 360.30 FEET ALONG THE WEST BOUNDARY OF SAID ARROW GAS PROPERTY TO THE SOUTHWEST CORNER OF SAID ARROW GAS PROPERTY;
- 2. NORTH 89' 61' 00" WEST 1.74 FEET TO A POINT ON THE WEST BOUNDARY OF THE EILEBRECHT PROPERTY , (AS DESCRIBED IN BOOK 403 AT PAGE 242 OF SAID RECORDS);
- 3. SOUTH 04' 50' 00" WEST 30.10 FEET ALONG SAID BOUNDARY:
- 4. SOUTH 89° 52' 00" EAST 636.76 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THE STATE OF COLORADO PROPERTY, (AS DESCRIBED IN BOOK 485 AT PAGE 49 OF SAID RECORDS):
- 5. NORTH 36 44^{\prime} 00" EAST 37.36 FEET ALONG SAID BOUNDARY TO A POINT ON THE SOUTH BOUNDARY OF SAID ARROW GAS PROPERTY;
- 6. NORTH 89' 51' 00" WEST 222.66 FEET ALONG SAID BOUNDARY TO THE SOUTHEAST CORNER OF THE MTN WINDOWS, INC. PROPERTY, (AS DESCRIBED UNDER RECEPTION NO. 494118 OF SAID RECORDS);
- 7. NORTH 00' 09' 00" EAST 181.22 FEET ALONG THE EAST BOUNDARY OF SAID MTN WINDOWS, INC. PROPERTY TO THE NORTHEAST CORNER OF SAID MTN WINDOWS, INC. PROPERTY:

LEGAL DESCRIPTION-CONTINUED

8. NORTH 89' 51' 00" WEST 59.77 FEET ALONG THE NORTH BOUNDARY OF SAID MTN WINDOWS, INC. PROPERTY TO THE NORTHWEST CORNER OF SAID MTN WINDOWS, INC. PROPERTY:

- 9. NORTH 00' 40' 09" EAST 0.23 FEET TO A POINT ON THE SOUTH BOUNDARY OF THE GREEN PROPERTY, (AS DESCRIBED UNDER RECEPTION NO. 494114 OF SAID RECORDS);
- 10. NORTH 89 51 ' $00^{\prime\prime}$ WEST 55.67 FEET ALONG SAID BOUNDARY TO THE SOUTHWEST CORNER OF SAID GREEN PROPERTY;
- 11. NORTH 00' 09' 00" EAST 176.55 FEET ALONG THE WEST BOUNDARY OF SAID GREEN PROPERTY TO THE NORTHWEST CORNER OF SAID GREEN PROPERTY;
- 12. NORTH 89' 37' 08" WEST 288.28 FEET ALONG THE NORTH BOUNDARY OF SAID ARROW GAS PROPERTY TO THE NORTHWEST CORNER OF SAID ARROW GAS PROPERTY, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT. THIS TRACT CONTAINS 3.42 ACRES MORE OR LESS.

PARCEL NO. 1:

TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M.

SECTION 25: A TRACT OF LAND IN THE N1/2SW1/4 OF SAID SECTION 25, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER OF SAID SECTION 25, (AS ESTABLISHED FROM A PRIVATE SURVEYOR'S WITNESS CORNER MOVEMENT INSCRIBED ILLS 11250"); THENCE SOUTH 89'37'08" EAST 929.16 FEET ALONG THE EAST-WEST CENTER SECTION LINE OF SAID SECTION 25 TO THE NORTHWEST CORNER OF THE ARROW GAS PROPERTY, (AS DESCRIBED IN BOOK 381 AT PAGE 115 OF THE RECORDS OF GUNNISON COUNTY), SAID CORNER ALSO BEING THE POINT OF BEGINNING FOR THE HEREIN DESCRIBED TRACT; THENCE THE FOLLOWING COURSES AROUND SAID TRACT:

- 1. SOUTH 04 '41'42" WEST 306.30 FEET ALONG THE WEST BOUNDARY OF SAID PROPERTY TO THE SOUTHWEST CORNER OF SAID PROPERTY;
- 2. NORTH 89'51'00" WEST 1.74 FEET TO A POINT ON THE WEST BOUNDARY OF THE EILEBRECHT PROPERTY, (AS DESCRIBED IN BOOK 403 AT PAGE 242 OF SAID RECORDS;
- 3. SOUTH 04°50'00" WEST 30.10 FEET ALONG SAID BOUNDARY:
- 4. SOUTH 89'51'00" EAST 676.70 FEET;
- 5. NORTH 11'21'45" WEST 30.62 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID ARROW GAS PROPERTY;
- 6. NORTH 89'51'00' WEST 293.89 FEET ALONG SAID BOUNDARY;
- 7. NORTH 00'09'00" EAST 357.78 FEET TO A POINT ON THE NORTH BOUNDARY OF SAID N1/2SW1/4 OF SECTION 25;
- 8. NORTH 89'37'08" WEST 343.95 FEET ALONG SAID BOUNDARY TO THE NORTHWEST CORNER OF SAID PROPERTY, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT.

EXCEPTING THEREFROM ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING WITHIN THE BOUNDARIES OF COLORADO STATE HIGHWAY NO. 135,

FURTHER EXCEPTING THEREFROM THE FOLLOWING PARCEL CONVEYED TO BUDDY W. GREEN AND ADENA L. GREEN IN QUIT CLAIM DEED RECORDED JUNE 28, 1999 AS RECEPTION NO. 494114.

A TRACT OF LAND IN THE N1/2SW1/4 OF SAID SECTION 25, DESCRIBED AS COMMENCING AT CORNER NO. I OF A TRACT OF LAND DESCRIBED IN BOOK 381 AT PAGE 115 OF THE GUNNISON COUNTY RECORDS, WHENCE, THE WEST QUARTER CORNER OF SAID SECTION 25 BEARS NORTH 89'51' WEST 929.16 FEET; THENCE SOUTH 89'51' EAST 288.28 FEET ALONG THE NORTH BOUNDARY OF SAID NI/2SW1/4 TO THE TRUE POINT OF BEGINNING, THENCE SOUTH 00'09' WEST 176.55 FEET; THENCE SOUTH 89'51' EAST 115.44 FEET; THENCE SOUTH 00'09' WEST 176.55 FEET TO THE SOUTHERLY PROPERTY LINE OF TRACT DESCRIBED IN SAID BOOK 381 AT PAGE 115; THENCE NORTH 00'09' EAST 353.1 FEET TO THE NORTH BOUNDARY OF SAID N1/2SW1/4; THENCE NORTH 89'51' WEST 182.72 FEET TO THE TRUE POINT OF BEGINNING

PARCEL NO. 2:

TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M.

SECTION 25: A TRACT OF LAND LOCATED IN THE N1/2SW1/4 OF SAID SECTION 25, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT CORNER NO. I OF A TRACT OF LAND DESCRIBED IN BOOK 381 AT PAGE 115 OF THE GUNNISON COUNTY RECORDS, WHENCE THE WEST QUARTER CORNER OF SAID SECTION 25 BEARS NORTH 89'51' WEST 929.16 FEET; THENCE SOUTH 89'51' EAST 346.0 FEET ALONG THE NORTH BOUNDARY OF SAID N1/2SW1/4; THENCE SOUTH 00'09' WEST 176.55 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89'51' EAST 57.72 FEET; THENCE SOUTH 00'09' WEST 176.55 FEET TO THE SOUTHERLY PROPERTY LINE OF TRACT DESCRIBED IN SAID BOOK 381 AT PAGE 115; THENCE NORTH 89'51' WEST 59.77 FEET ALONG SAID SOUTHERLY PROPERTY LINE; THENCE NORTH 00'09' EAST 176.55 FEET; THENCE SOUTH 89'51' EAST 2.05 FEET TO THE TRUE POINT OF BEGINNING.

AND BEING THE SAME PROPERTY CONVEYED TO KOHALA HOMESERVICES, INC., A COLORADO CORPORATION FROM MOUNTAIN WINDOWS, INC., A COLORADO CORPORATION BY BARGAIN AND SALE DEED DATED JUNE 23, 2005 AND RECORDED JUNE 30, 2005 IN INSTRUMENT NO. 555202.

ITEMS AFFECTING THE PROPERTY

- 2.) EASEMENT IN FAVOR OF: STATE DEPARTMENT OF HIGHWAYS DIVISION OF HIGHWAYS, STATE OF COLORADO RECORDED ON: 05/30/1975 RECORDED IN: DEED BOOK 485, PAGE 412
- 3.) EASEMENT IN FAVOR OF: STATE DEPARTMENT OF HIGHWAYS DIVISION OF HIGHWAYS, STATE OF COLORADO RECORDED ON: 05/30/1975 RECORDED IN: DEED BOOK 485. PAGE 414
- 4.) RULE AND ORDER EASEMENT IN FAVOR OF: STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO RECORDED ON: 09/23/1975 RECORDED IN: DEED BOOK 489, PAGF 169
- 5.) GRANT OF EASEMENT IN FAVOR OF: RICHARD H. HAYNES AND KATHERINE R. HAYNES, THEIR HEIRS, SUCCESSORS AND ASSIGNS RECORDED ON: 01121111992 RECORDED IN: DEED BOOK 700, PACE 623
- 6.) CERTIFICATE RECORDED ON: 02/26/1996 RECORDED IN: DEED BOOK 779, PAGE 76
- 7.) ARTICLES OF AMENDMENT RECORDED ON: 03/06/2012 RECORDED IN: INSTRUMENT NO. 20021054999

verizon wireless

VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014 PHONE: 303.873.2800

CSAi

UTILETON, COLORADO 80127 OFFICE: 303.932.9974 FAX: 303.932.6561 PROJECT INFORMATION:

ARCHITECTURE - PLANNING - DESIGN

SITE NAME

CO3 POPGUN POP

1445 STATE HWY 135 GUNNISON, CO., 81230

| | REV: | DATE: | DESCRIPTION: | BY: |
|---|------|---------|--------------------------------------|-----|
| | 0 | 6/14/11 | SURVEY ISSUE | J.L |
| | 1 | 7/6/11 | ADDED LEASE AREA & EASEMENTS | JL. |
| ١ | 2 | 7/14/11 | ADDED PROPERTY LINES TO THE NORTH | JL. |
| 1 | 3 | 1/27/12 | REVISED EASEMENTS | Ή |
| | 4 | 4/10/12 | UPDATED/ADDED TITLE POLICY | ĭ |
| | 5 | 4/11/12 | REVISED/ADDED EASEMENTS | я |
| | | | | |
| | | | | |

PLANS PREPARED BY



1780 S. BELLAIRE ST., SUITE 165 DENVER, COLORADO 80222 OFFICE: (303) 753-9799 FAX: (303) 753-4044 R9377



Pho. 202802 APR 2 3 2012

SURVEYOR'S CERTIFICATION
I, CHRISTOPHER P. JULIANA, A DULY
REGISTERED LAND SURVEYOR IN THE
STATE OF COLORADO, HEREBY
CERTIFY THAT THIS TOPOGRAPHIC
MAP AND THE IMPROVEMENTS
SHOWN HEREON ARE TRUE AND
CORRECT TO THE BEST OF MY

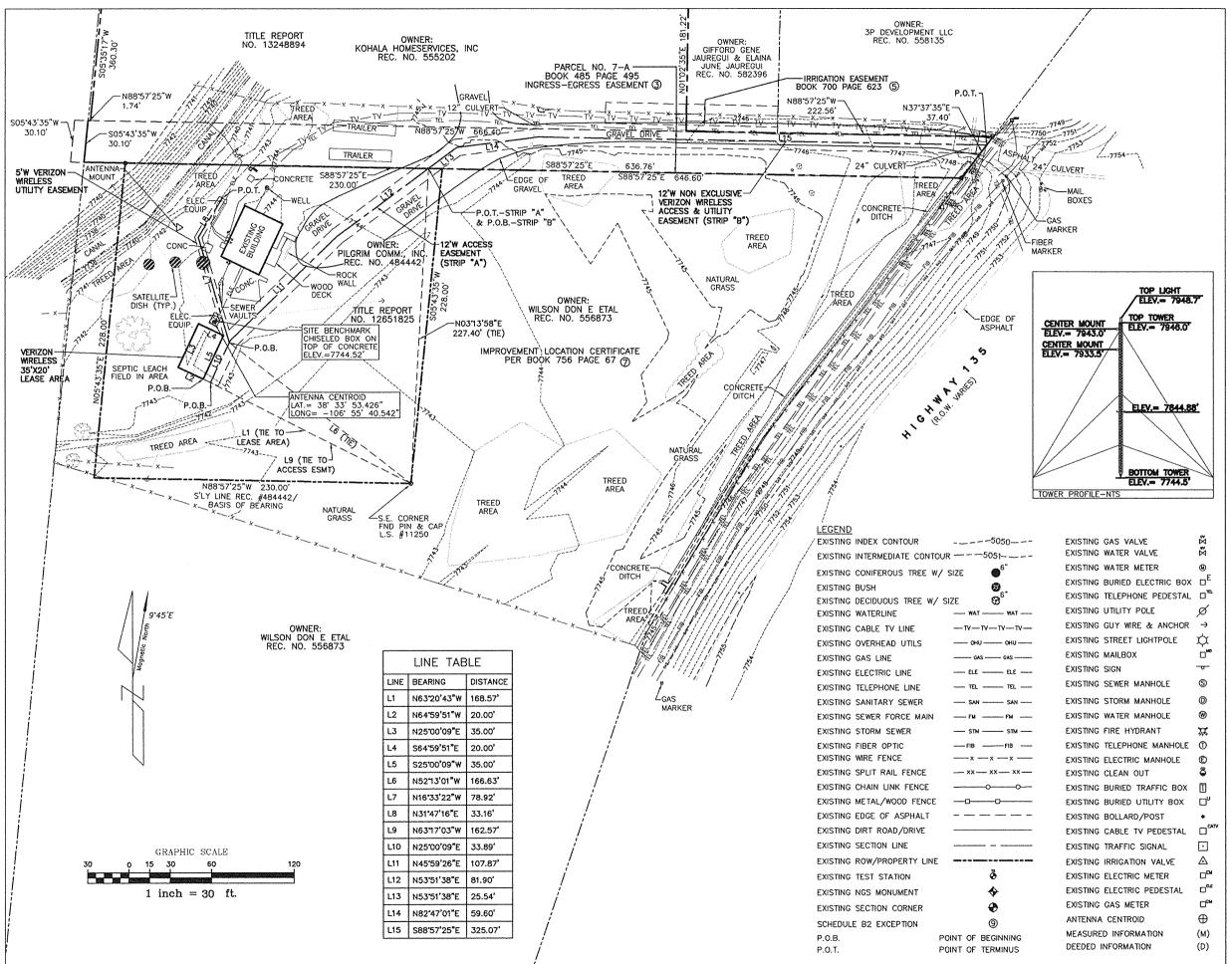
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.

SHEET TILLE:

CIVIL SURVEY

SHEET NUMBER:

LS2





VERIZON WIRELESS SERVICES
3131 S. VAUGHN WAY, SUITE 550
AURORA, CO 80014
PHONE: 303.873.2800

CHARLES STECKLY ARCHITECTURE, Inc. ARCHITECTURE - PLANNING - DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITILETON, COLORADO 60127 OFFICE: 303,932,9974

FAX: 303.932.6561
PROJECT INFORMATION:

SITE NA

CO3 POPGUN POP

1445 STATE HWY 135 GUNNISON, CO., 81230

| | REV: | DATE: | DESCRIPTION: | By: |
|--|------|---------|--------------------------------------|-----|
| | 0 | 6/14/11 | SURVEY ISSUE | JL. |
| | 1 | 7/6/11 | ADDED LEASE AREA & EASEMENTS | JL |
| | 2 | 7/14/11 | ADDED PROPERTY LINES TO THE NORTH | JL |
| | 3 | 1/27/12 | REVISED EASEMENTS | J.L |
| | 4 | 4/10/12 | UPDATED/ADDED TITLE POLICY | JL |
| | 5 | 4/11/12 | REVISED/ADDED EASEMENTS | JL |
| | | | | |
| | | | | |

PLANS PREPARED BY



1780 S. BELLAIRE ST., SUITE 165 DENVER, COLORADO 80222 OFFICE: (303) 753-9799 FAX: (303) 753-4044 R9377



SURVEYOR'S CERTIFICATION I, CHRISTOPHER P. JULIANA, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP AND THE IMPROVEMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.

SHEET TITLE:

CIVIL SURVEY

SHEET NUMBER:

LS3

VERIZON WIRELESS SERVICES

3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014 PHONE: 303.873.2800

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

| REV: | DATE: | DESCRIPTION: | BY: |
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| Α | 10/14/11 | ISSUE | SSB |
| В | 10/20/11 | COMMENTS | SSB |
| С | 11/02/11 | COMMENTS | SSB |
| 0 | 04/23/12 | CO ISSUE | SSB |
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PLANS PREPARED BY:

| CSAi

CHARLES STECKLY ARCHITECTURE, Inc.
ARCHITECTURE - PLANNING - DESIGN
593S SOUTH ZANG STREET, SUITE 280
LITHETON, COLORADO 80127
OFFICE 303.932.6951
FAX: 303.932.6561

LICENSURE NO;



DRAWN BY: CHK: APV:

CONSULTANT:

SHEET TITLE:

TRAFFIC CONTROL PLAN

SHEET NUMBER:

TC-1

NORTH

SCALE

40' 20'

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PLOTTED Apr 23, 2012 AT 11:40am

1 TRAFFIC CONTROL PLAN



VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

| REV: | DATE: | DESCRIPTION: | BY: |
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PLANS PREPARED BY:

CHARLES STECKLY ARCHITECTURE, Inc. ARCHITECTURE – PLANNING – DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITILETON, COLORADO 80127 OFFICE: 303.932.9974 FAX: 303.932.6581

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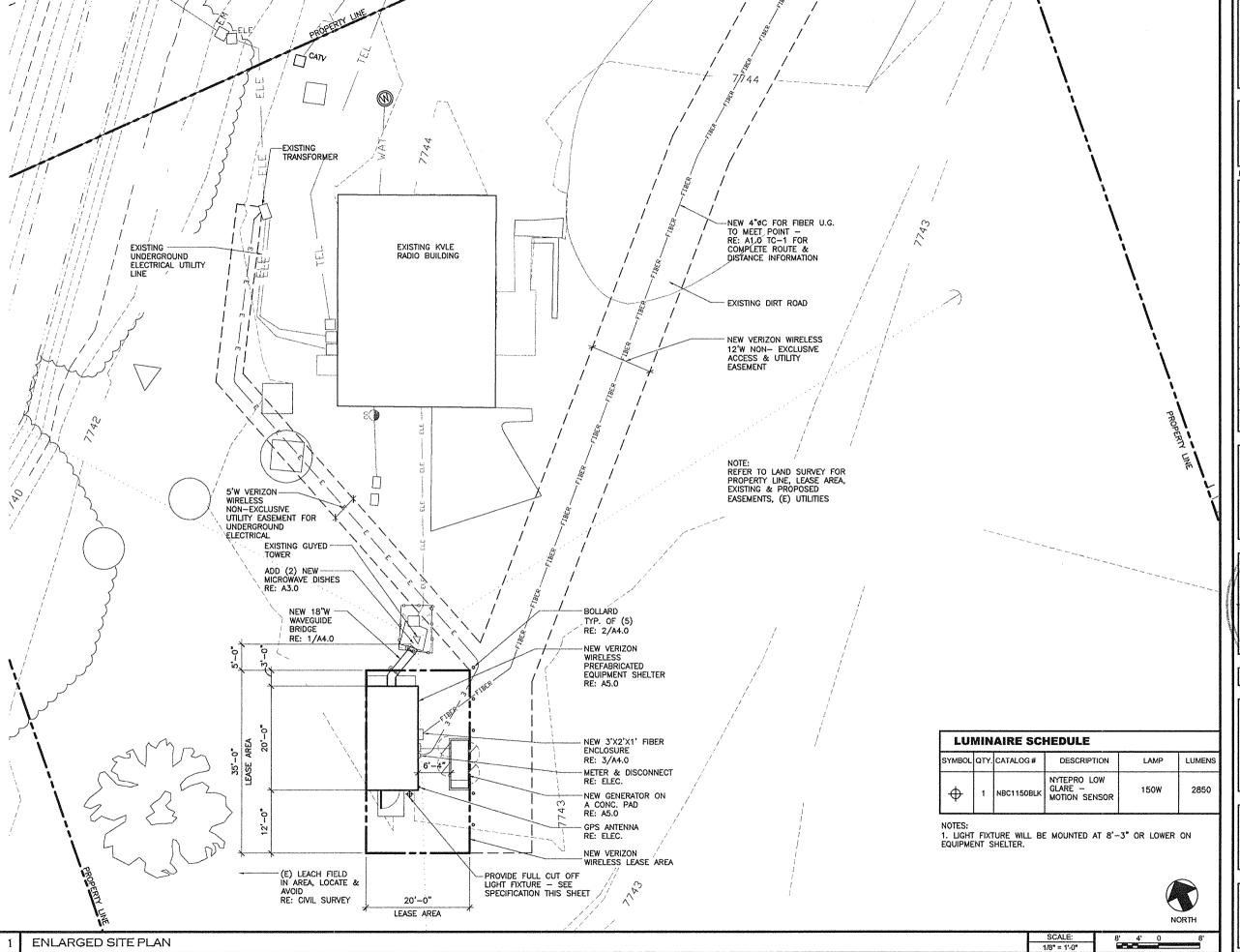


DRAWN BY: CHK SO CONS

SHEET TITLE:

SITE PLAN

SHEET NUMBER:



verizon wireless

3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

| REV | DATE: | DESCRIPTION: | By: |
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PLANS PREPARED BY:

CSA1
HARLES STECKLY ARCHITECTURE, Inc.

ARCHITECTURE - PLANNING - DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITTLETON, COLORADO 80127 OFFICE: 303,932,9974

LICENSURE NO.

CHARLES N. STECKLY MAY 17 2012

No. 202002

DRAWN BY CHK APV:

cs

SSB

CONSULTANT:

SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

A2.0



3131 S. Vaughn Way, Suite 550 Aurora, Co 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

| REV: | DATE: | DESCRIPTION: | BY: |
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| A | 09/20/11 | CD REVIEW | SSB |
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PLANS PREPARED BY:

CSA1
CHARLES STECKLY ARCHITECTURE, Inc.

ARCHITECTURE – PLANNING – DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITILETON, COLORADO 80127 OFFICE: 303,932,9974 FAX: 303,932,6561

LICENSURE NO



DRAWN BY: CHK APV:

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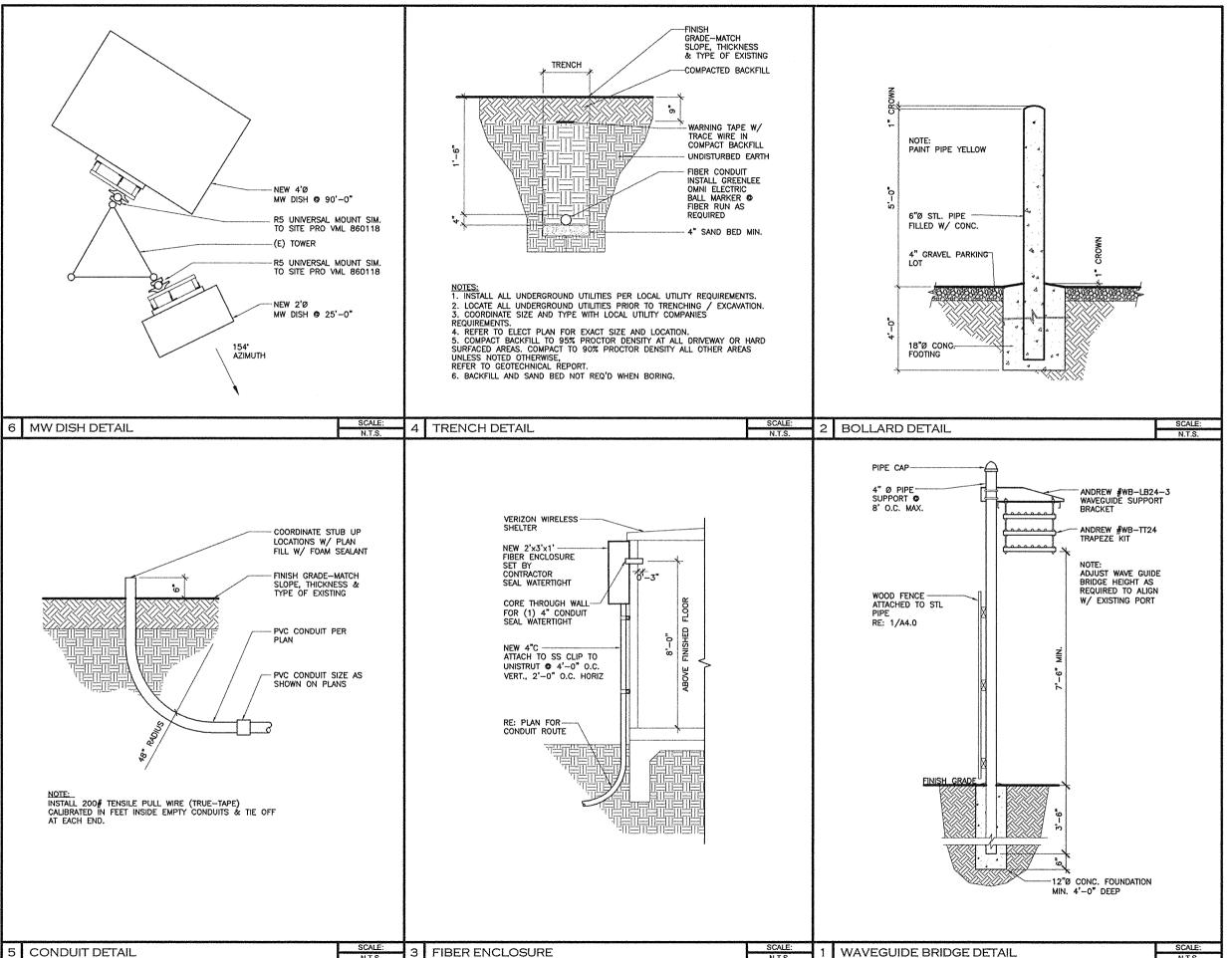
CONSULTANT:

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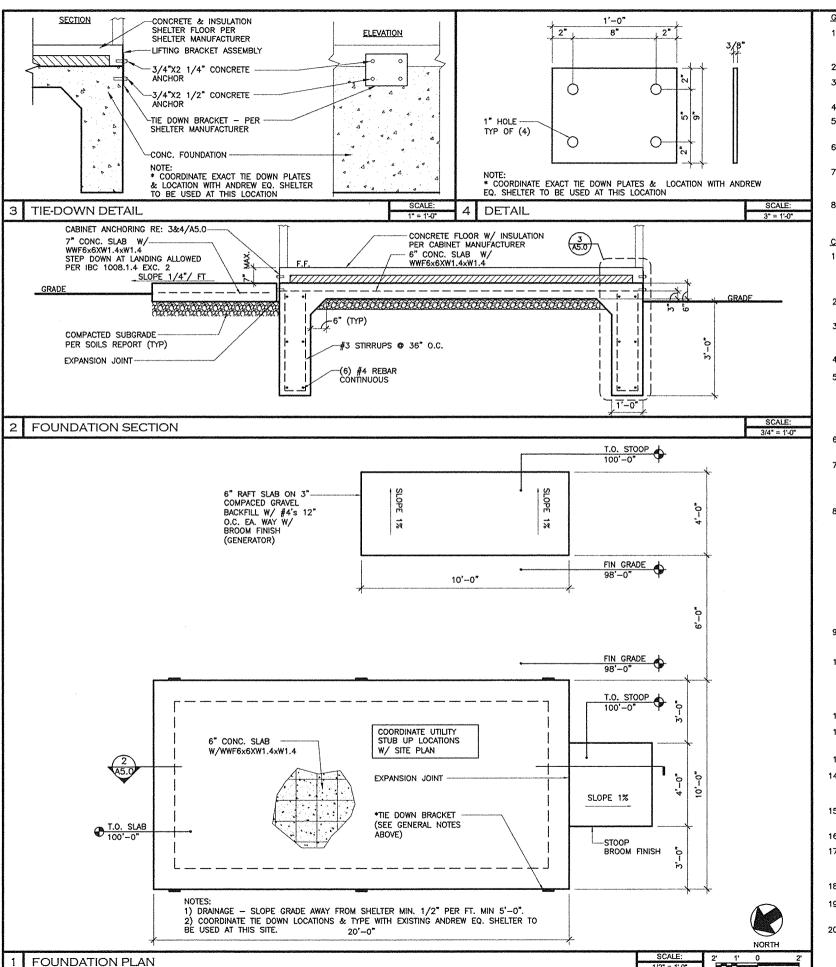
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A3.0



M:2011/Projects/Verizon Wireless SMR\CO3 Pop Gun Pop\Cd\A40.dwg PLOTTED Apr 23, 2012 AT 11:10am

verizon wireless VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014 PROJECT INFORMATION: CO3 POP GUN POP 1445 STATE HIGHWAY 135. GUNNISON, CO 81230 REV: DATE: DESCRIPTION: BY: 09/20/11 CD REVIEW 11/15/11 GENERATOR ADD UPDATED FIBER ROUTE 02/22/12 04/18/12 UPDATED FIBER ROUTE 04/23/12 CD ISSUE PLANS PREPARED BY: CHARLES STECKLY ARCHITECTURE, Inc ARCHITECTURE — PLANNING — DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITILETON, COLORADO 80127 OFFICE: 303,932,9974 FAX: 303,932,6561 LICENSURE NO. APR 23 2012 Mo. 202802 DRAWN BY Снк: SESSE OF COM cs CONSULTANT: SHEET TITLE: DETAILS SHEET NUMBER:



GENERAL NOTES

- 1 ALL DIMENSIONS TO OF AND ON EXISTING BUILDINGS DRAINAGE STRUCTURES AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER
- 2. DO NOT CHANGE SIZE NOR SPACING OF STRUCTURAL ELEMENTS.
- 3. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- 4. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- 5. BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- 6. DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL
- 8. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS

- 1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
- 2. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- 3. CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
- 4. MAXIMUM AGGREGATE SIZE SHALL BE 1".
- 5. THE FOLLOWING MATERIALS SHALL BE USED:

ASTM C 150, TYPE I ASTM A 185 REINFORCEMENT: NORMAL WEIGHT AGGREGATE: ASTM C 33 ADMIXTURES: NON-CHLORIDE CONTAINING

- 6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
- 7. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B"
- 8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH....... IN.

CONCRETE EXPOSED TO EARTH OR WEATHER: #6 AND LARGER #5 AND SMALLER & WWF 1 1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND: SLAB AND WALL ...3/4 IN. BEAMS AND COLUMNS .

- 9. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- 10. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURES WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- 11. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- 12. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- 13. DO NOT WELD OR TACKWELD REINFORCING STEEL.
- 14. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE
- 15. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- 16. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- 17. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- 18. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- 19. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- 20. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER



VERIZON WIRELESS SERVICES 3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135. **GUNNISON, CO 81230**

| | REV: | DATE: | DESCRIPTION: | By: |
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PLANS PREPARED BY:



ARCHITECTURE - PLANNING - DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITTLETON, COLORADO 80127 OFFICE: 303.932.9974 FAX: 303.932.6561



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| SSB C | ିଲେ cs |

CONSULTANT:

SHEET TITLE:

FOUNDATION PLAN

SHEET NUMBER:

- . SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD
- 2. THESE PLANS ARE DIAGRAMMATIC ONLY, AND NOT TO BE SCALED.
- 3. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE
- 4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDER- WRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANU— FACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI,
- 5.ALL CONDUIT INSTALLED SHALL BE SURFACE MOUNTED UNLESS OTHERWISE NOTED.
- 6. ELECTRICAL CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL CODES AND O.S.H.A.
- 7. ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY ELECTRICAL PERMITS, AND PAY ALL REQUIRED FEES.
- *8. COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF NO LESS THAN ONE YEAR AFTER THE DATE OF JOB COMPLETION. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
- 9. ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE, AND TRUE TAPE.
- 10.PROVIDE THE OWNER WITH ONE SET OF COMPLETE DIMENSIONS AND CIRCUITS, WITHIN 10 WORKING DAYS OF PROJECT COMPLETION ELECTRICAL "AS BUILT" DRAWINGS, SHOWING ACTUAL
- 11. ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO PROJECT MANAGER
- 12. USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE. ALL CONDUCTORS
- 13. THE EXTERIOR GROUND RING SHALL BE TESTED PER VERIZON WIRELESS SPECIFICATIONS AND SHALL HAVE A RESISTANCE TO EARTH OF 5 OHMS OR LESS. IF NOT NOTIFY ENGINEER.
- 14. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.

- GROUND CONDUCTOR

FUSED DISCONNECT

TH LOCAL DISCONNECT

 COPPER CLAD GROUND ROD $(5/8" \times 10")$

EXOTHERMIC WELD

COMPRESSION TYPE CONNECTION

AUTOMATIC TRANSFER SWITCH

MECHANICAL CONNECTION (LUG CRIMP OR C CLAMP)

GENERATOR RECEPTACLE

TEST WELL

© STAND-BY GENERATOR

PANELBOARD

UNDERGROUND

RACEWAY

TRANSFORMER

FEEDER KEY

GROUND

METER

FI FCTRICAL

ENCLOSURE

ELECTRICAL SERVICE WEATHERHEAD

WEATHERHEAD

PATH AND

NUMBER OF CONDUCTORS

TINNED

COPPER GROUND BAR

SYMBOLS

TELEPHONE SERVICE

PANELBOARD

ELECTRICAL NOTES

M

- 15. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS
- 16. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 17. IN DRILLING HOLES INTO CONCRETE (WHETHER FOR FASTENING OR ANCHORING PURPOSES OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC.) IT MUST BE CLEARLY LINDERSTOOD THAT TENDONS AND REBARS WILL NOT BE DRILLED INTO, CUT, OR DAMAGED UNDER ANY CIRCUMSTANCES.
- 18. LOCATION OF TENDONS AND RE—BARS ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X—RAY, OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING STEEL TENDONS.
- 19. PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH APPLICABLE LOCAL BUILDING CODES. USING U.L. RATED MATERIALS
- 20. ELECTRICAL CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOK-UP COSTS SHALL BE PAID BY THE CONTRACTOR.
- 21. ELECTRICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CATALOG CUT-SHEETS ON ALL NON-SPECIFIED ORIGINAL MATERIALS AND EQUIPMENT, TO PROJECT MANAGER PRIOR TO COMMENCEMENT OF THE WORK.
- 22. UPON COMPLETION OF WORK, CONDUCT CONTINUITY AND SHORT CIRCUIT, AS WELL AS, GROUNDING TEST. GROUNDING TEST SHALL BE PERFORMED BY INDEPENDENT TESTING AGENCY, WITH WRITTEN REPORT SUBMITTED TO THE PROJECT MANAGER FOR REVIEW AND
- 23. CLEAN PREMISES DAILY OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK PREMISES IN A COMPLETE AND UNDAMAGED
- 24. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED WITH POLYSEAM SEALANT
- 25. ALL #2 TINNED BARE COPPER DOWNLEADS TO BE PROTECTED BY 1/2" P.V.C. PIPE AND SECURED.
- 26. COMPRESSION FITTINGS TO BE USED ON ALL CONDUITS (NO SET SCREWS).
- 27. ALL #6 STRANDED COPPER WITH GREEN INSULATION TO BE ATTACHED WITH CRIMPED DOUBLE LUG, ATTACHED WITH NUTS, BOLTS AND STAR WASHERS TYPICAL AND NO-OX GREASE BETWEEN LUG AND BUS BAR.

A SERVICE:

= 2 x 250FT x 14,800A = 2.68

11 500 X 240V

IsC = .27 x 14,800A = 3,996 AIC

SHORT CIRCUIT CALCULATIONS

1 + 2.68

- 28. ALL ABOVE GROUND CONDUIT SHALL BE RIGID GALVANIZED CONDUIT WITH WEATHERPROOF FITTINGS.
- DATE OF JOB COMPLETION SHALL BE THE DATE ON THE CONTRACTOR'S "NOTICE OF COMPLETION" SUBMITTED TO THE OWNER.

| PANEL LA | | | | | | | | | | | | |
|--|--|-------|------|--------|------|---|------|-------|------|--------|--------|------------------|
| | 120/240 VOLTS, 1 PHASE, 3 WIRES, SN, 200 AMP BUS, 200 AMP MAIN, CB | | | | | | | | | | | |
| | | | | | | | | | | | | |
| 10,000 A.I.C. RATING (MINIMUM), NEMA 3R ENCLOSURE, SURFACE MOUNTED MFG RE: 1-LINE | | | | | | | | | | | | |
| | Times | l num | DOLE | lover. | | | | Tour- | BOLE | lnien. | 114455 | Inconuncia. |
| DESCRIPTION | WIRE | BKR | POLE | CKI | VA | ф | VA | - | POLE | | WIKE | DESCRIPTION |
| LIGHTS | #12 | 20 | 1 1 | 1 | 1000 | Α | 360 | 2 | 1 | 20 | #12 | TIMER/FAN |
| RECEPT | #12 | 20 | 1 | 3 | 360 | В | 1560 | 4 | 2 | 30 | #10 | RECT 1 |
| HVAC 1 | #6 | 60 | 2 | 5 | 4730 | Α | 1560 | 6 | | | | |
| | | | | 7 | 4730 | В | 1560 | 8 | 2 | 30 | #10 | RECT 2 |
| HVAC 2 | #6 | 60 | 2 | 9 | 4730 | Α | 1560 | 10 | | | | |
| | | | | 11 | 4730 | В | 1560 | 12 | 2 | 30 | #10 | RECT 3 |
| RECEPT | #12 | 20 | 1 | 13 | 360 | Α | 1560 | 14 | | | | |
| RECEPT | #12 | 20 | 1 | 15 | 360 | В | 1560 | 16 | 2 | 30 | #10 | RECT 4 |
| EXT. RECEPT | #12 | 20 | 1 | 17 | 360 | Α | 1560 | 18 | | | | |
| GEN ROOM HEATER | #12 | 20 | 2 | 19 | 1580 | В | 1560 | 20 | 2 | 30 | #10 | RECT 5 |
| | | | | 21 | 1580 | Α | 1560 | 22 | | | | |
| GEN ROOM LIGHTS | #12 | 20 | 1 | 23 | 220 | В | 1560 | 24 | 2 | 30 | #10 | RECT 6 |
| BATTERY CHARGER | #12 | 20 | 1 | 25 | 360 | Α | 1560 | 26 | | | | |
| HVAC CONTROL | #12 | 20 | 1 | 27 | 180 | В | 180 | 28 | 1 | 20 | #12 | DAMPER MOTOR |
| SMOKE DETECT | #12 | 20 | 1 | 29 | 180 | Α | 360 | 30 | 1 | 20 | #12 | GENERATOR RECEPT |
| | | | | 31 | | В | | 32 | | | | |
| | | | | 33 | | Α | | 34 | | | | |
| | | | | 35 | | В | | 36 | | | | |
| | | | | 37 | | Α | | 38 | | | | |
| | | | | 39 | | В | | 40 | | | | |
| | | | | 41 | | Α | | 42 | | | | |

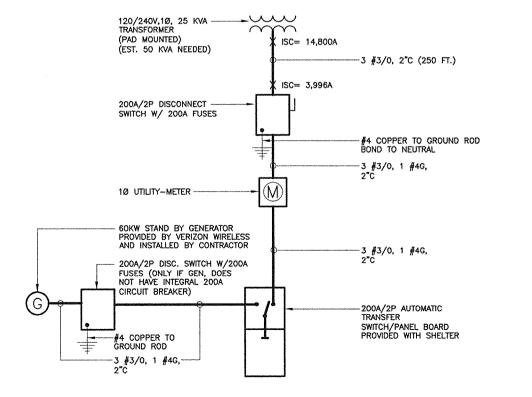
PHASE A 23800 VOLTAMPS PHASE B 21900 VOLTAMPS

PANEL LOAD CALCULATIONS

PANEL NOTE: TVSS INSTALLATION PER **ELECTRICAL CONTRACTOR**

| LIGHTING | 1000 | VOLTAMPS X | 1.25 = | 1250 | VOLTAMPS |
|--------------------------|-------|------------|--------|-------|-----------------|
| RECEPTACLES - 1ST 10 KVA | 720 | VOLTAMPS X | 1.00 = | 720 | VOLTAMPS |
| LARGEST MOTOR | 6560 | VOLTAMPS X | 1.00 = | 8200 | VOLTAMPS |
| REMAINDER MOTOR | 6660 | VOLTAMPS X | 1.00 = | 6660 | VOLTAMPS |
| RECTIFIER | 21600 | VOLTAMPS X | 1.00 = | 21600 | VOLTAMPS |
| OTHER | 6080 | VOLTAMPS X | 1.00 = | 6080 | VOLTAMPS |
| • | | | | 44385 | TOTAL DEMAND VA |
| | | | | 185 | AMPS, 1Ø, 3W |

2 PANEL SCHEDULE





GENERATOR ADD

LIPDATED FIRER ROUTE

UPDATED FIBER ROUTE

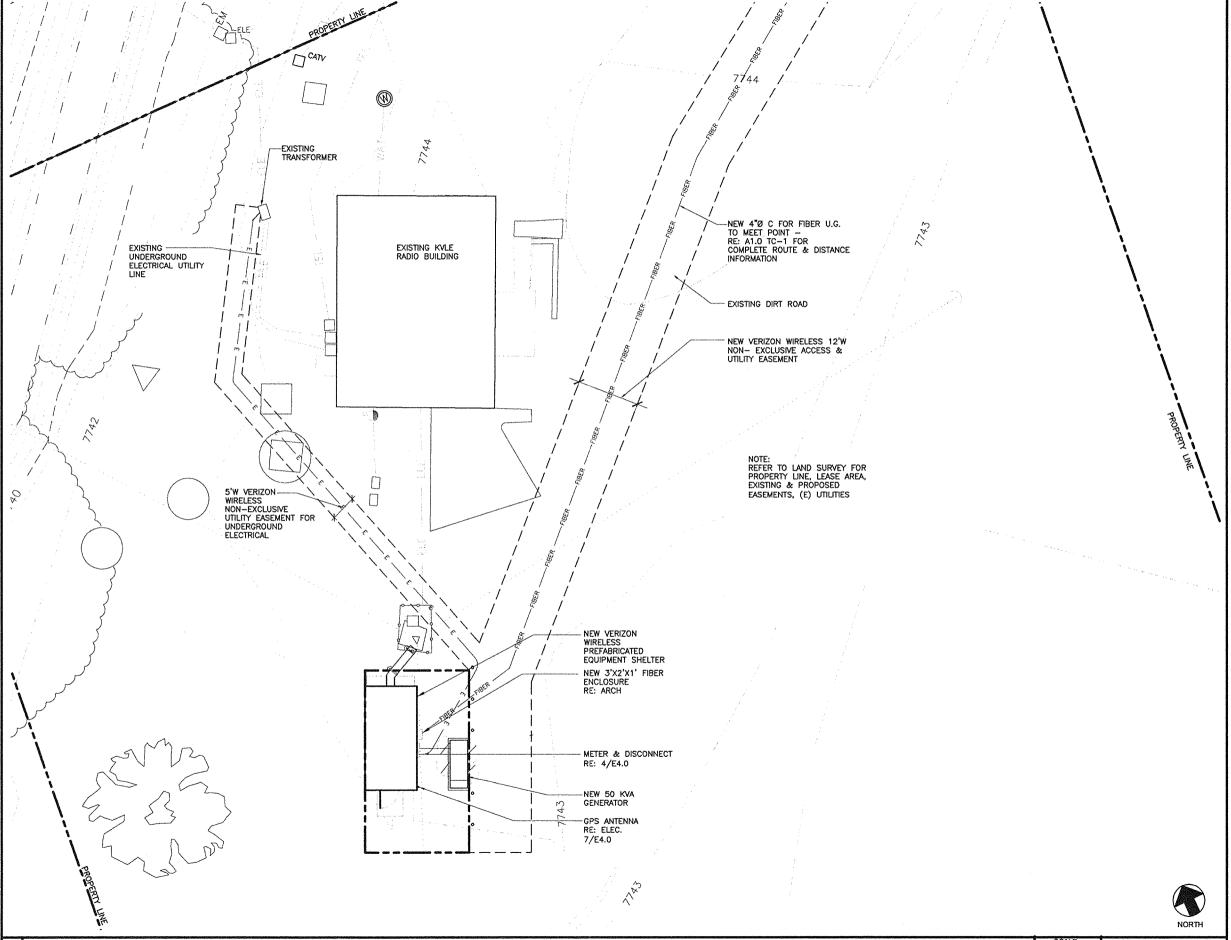
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SHEET NUMBER:

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ojects\Verizon \ Apr 23, 2012

SCALE: ONE LINE DIAGRAM





3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

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PLANS PREPARED BY:

CSAI CHARLES STECKLY ARCHITECTURE, I

ARCHITECTURE — PLANNING — DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITILETON, COLORADO 80127 OFFICE: 303-392,9974 FAX: 303-325.6561

32097 APR. 2 4 2012:

SSB TN CS

CONSULTANT:

DENNIS GREVEL, P.E. 12311 WEST PRENTICE PLACE LITTLETON, COLORADO 80127 PHONE: 303.478.3337

SHEET TITLE:

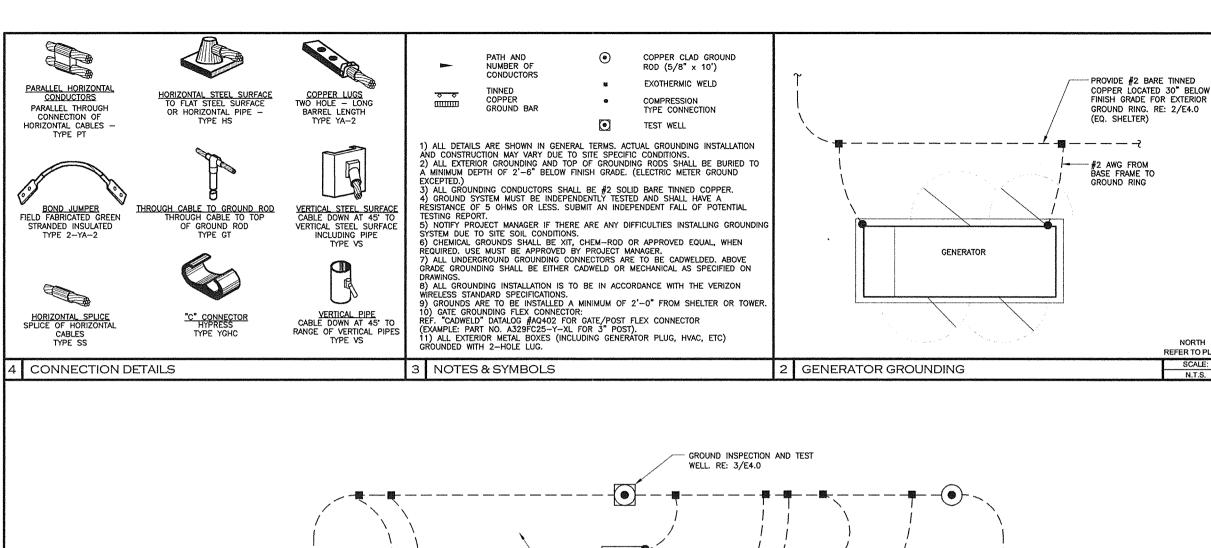
ELECTRICAL SITE PLAN

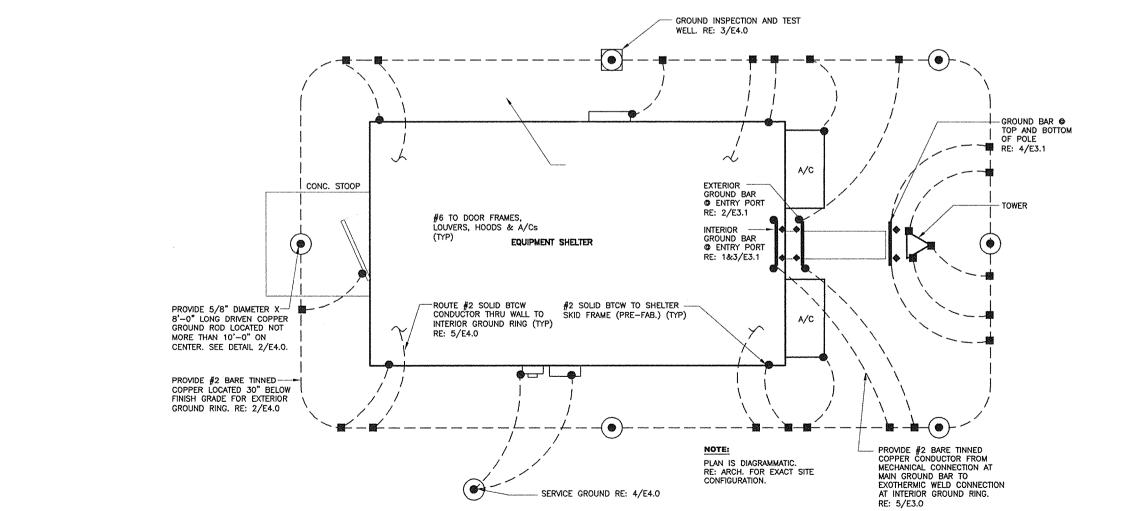
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1/8" = 1'-0"

E2.0

ELECTRICAL SITE PLAN





verizon wireless VERIZON WIRELESS SERVICES

3131 S. VAUGHN WAY, SUITE 550 AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135, GUNNISON, CO 81230

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NORTH REFER TO PLAN SCALE:

N.T.S.

NORTH REFER TO PLAN

2' 1'

PLANS PREPARED BY

CHARLES STECKLY ARCHITECTURE, Inc

ARCHITECTURE - PLANNING - DESIGN 5935 SOUTH ZANG STREET, SUITE 280 LITTLETON, COLORADO 80127 OFFICE: 303.932.9974

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DRAWWER NAL CHES APV: NT CONTRACTOR CS CONSULTANT

DENNIS GREVEL, P.E. 12311 WEST PRENTICE PLACE 1 ITTLETON COLORADO 80127

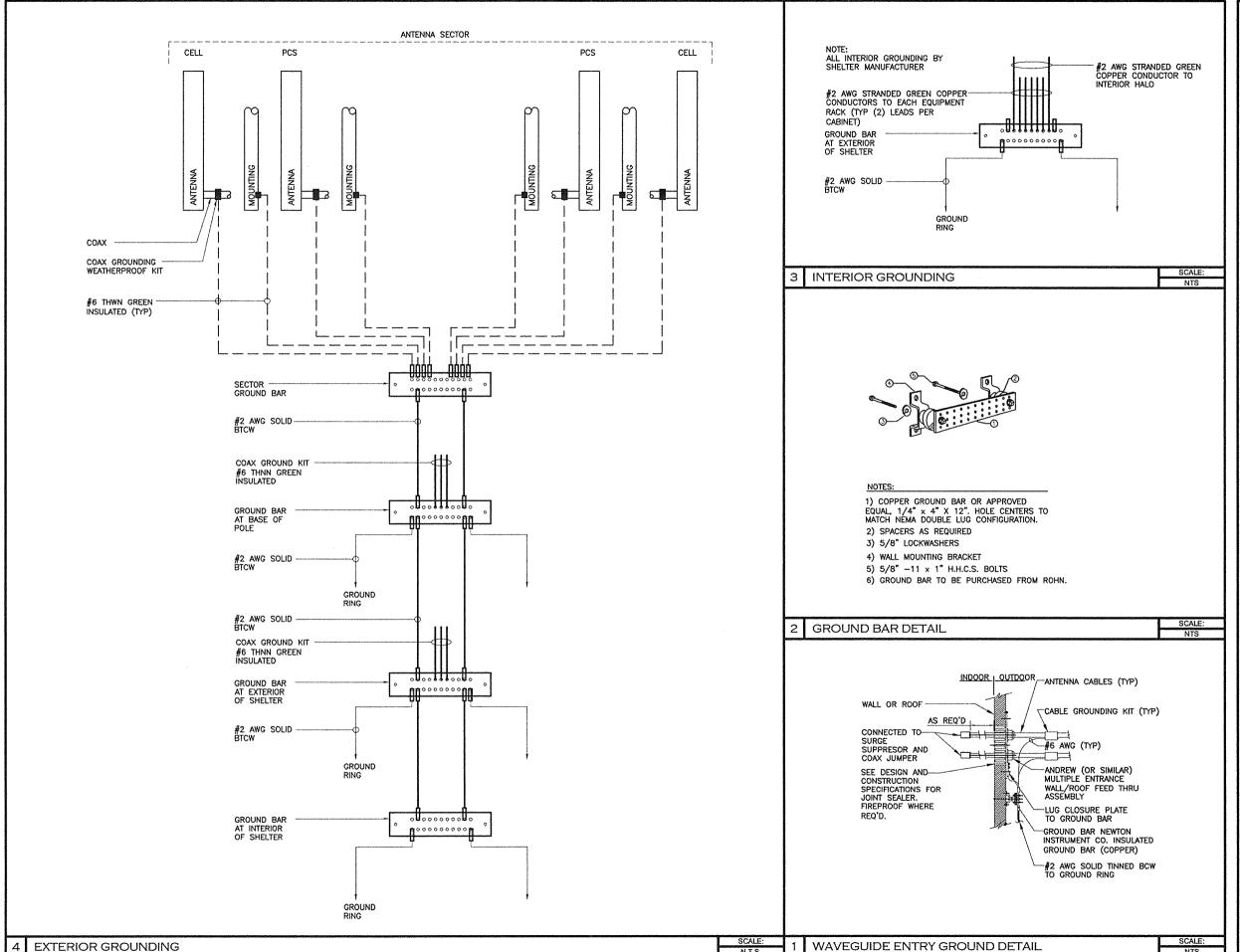
PHONE: 303.478.3337

SHEET TITLE:

GROUNDING PLAN

SHEET NUMBER:

GROUNDING PLAN @ SHELTER



verizon wireless

VERIZON WIRELESS SERVICES
3131 S. VAUGHN WAY, SUITE 550
AURORA, CO 80014

PROJECT INFORMATION:

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1445 STATE HIGHWAY 135, GUNNISON, CO 81230

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PLANS PREPARED BY:

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CONSULTANT:

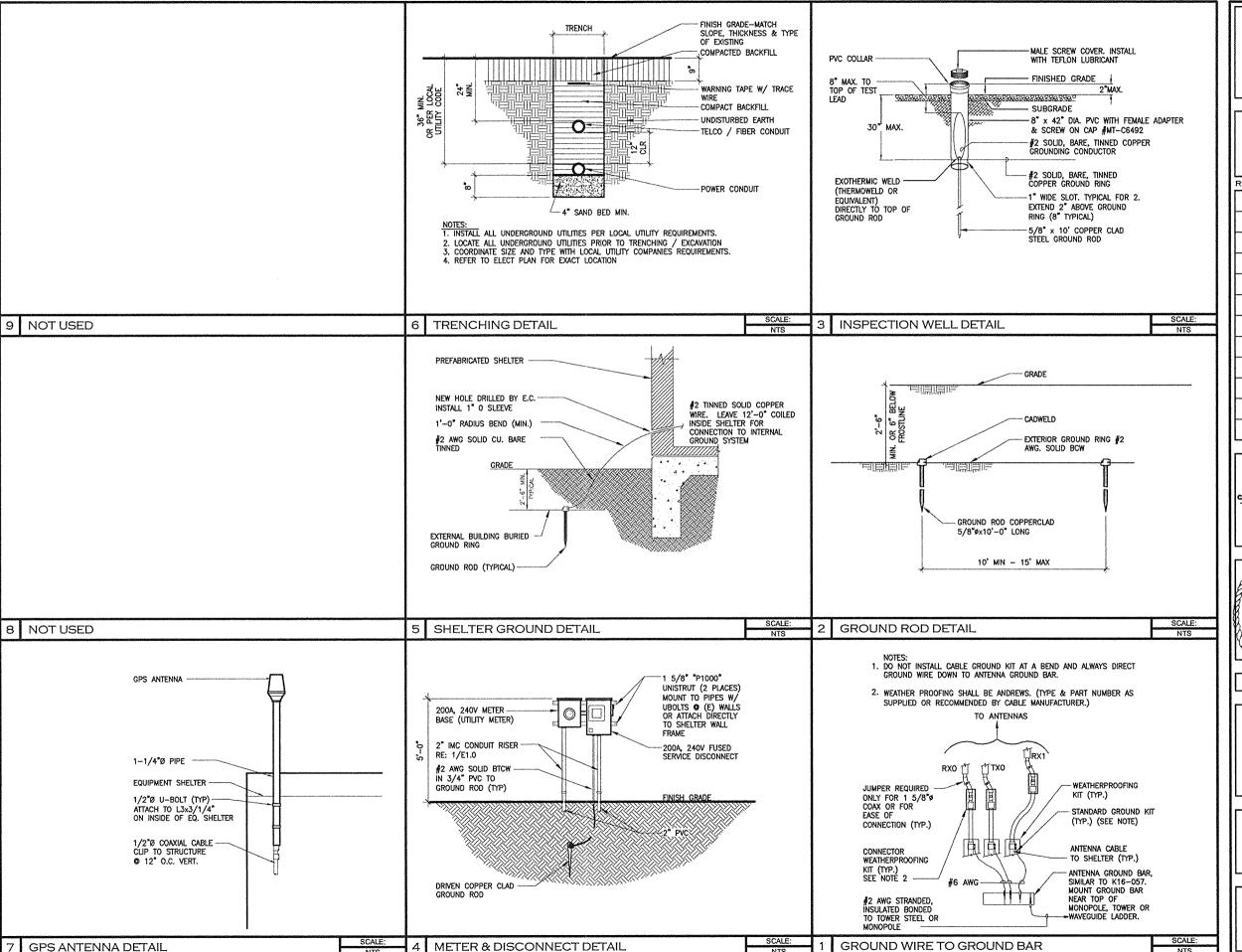
DENNIS GREVEL, P.E. 12311 West Prentice Place Littleton, Colorado 80127 Phone: 303.478.3337

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GROUNDING SCHEMATIC

SHEET NUMBER:

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Verizon Wireless

VERIZON WIRELESS SERVICES
3131 S. VAUGHN WAY, SUITE 550
AURORA, CO 80014

PROJECT INFORMATION:

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1445 STATE HIGHWAY 135, GUNNISON, CO 81230

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PLANS PREPARED BY:

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SSB CS APV:

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12311 West Prentice Place LITTLETON, COLORADO 80127 303.478.3337

SHEET TITLE:

ELECTRICAL DETAILS

SHEET NUMBER:

E4.0