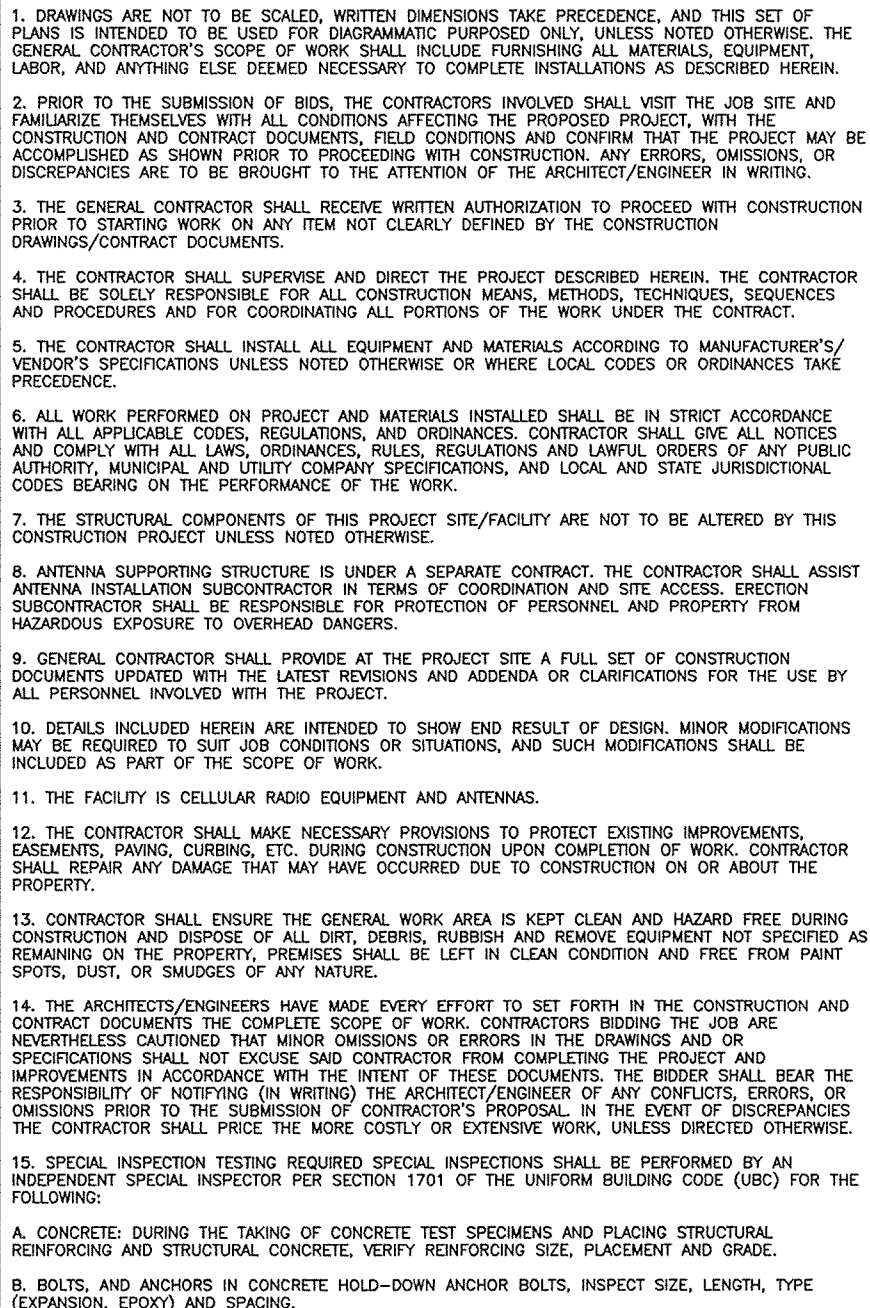


## GENERAL NOTES



**OWNER CONTACT:**  
CONTRACTING  
& PURCHASING MANAGER  
CONTACT: ROCKIE HURRELL  
PHONE: 719.502.2007

**CLOSSER CONSULTING**  
**KELLY HARRISON**  
**1917 LOWELL BLVD.**  
**DENVER, CO 80204**  
**PHONE: 303.748.0599**

VERIZON WIRELESS  
CONSTRUCTION MANAGER  
MIKE GIOVANNI  
3131 S. VAUGHN WAY  
SUITE 550  
AURORA, CO 80014  
CELL: 303.489.0009  
DESK: 303.873.2620

VERIZON WIRELESS  
BILL KOWALCHUK  
SENIOR RF ENGINEER  
3131 S. VAUGHN WAY  
SUITE 550  
AURORA, CO 80014  
PHONE: 303.929.2011  
FAX: 303.873.2682

CHARLES STECKLY  
CSAI  
5935 S. ZANG ST.  
SUITE 280  
LITTLETON, CO 80127  
PHONE: 303.932.9974  
FAX: 303.932.6561

**ELECTRICAL ENGINEER:**

DENNIS GREVEL  
12311 WEST PRENTICE PLACE  
LITTLETON, CO 80127  
PHONE: 303.478.3337

PRECISION SURVEY  
& MAPPING, INC  
CHRISTOPHER P. JULIANA, P.L.S.  
1780 BELLAIRE ST.  
SUITE 230  
DENVER, CO 80222  
PHONE: 303.753.9799

JURISDICTION: - GUNNISON

ZONING DESIGNATION: - N/A

OCCUPANCY GROUP: - U

CONSTRUCTION TYPE: - V-B

FULLY SPRINKLERED: - NO

GOVERNING CODES:  
2009 IBC, 2009 IMC, 2009 IFC, 2009 NEC

A.D.A. COMPLIANCE:  
THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

THE ADDITION (2) NEW MICROWAVE DISHES ONE @ 25'-0" A.F.G. AND ONE @ 80'-0" A.F.G. INSTALLATION OF A NEW PREFABRICATED SHELTER AND DIESEL GENERATOR NEAR BASE OF EXISTING GUYED TOWER.

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THESE DRAWINGS ARE ONLY TO SCALE WHEN PLOTTED ON 24x36 SHEET. USE GRAPHIC SCALE WHEN PLOTTED ON 11x17 SHEET.

CALL BEFORE YOU DIG - COLORADO LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE. UTILITY NOTIFICATION CENTER OF COLORADO - 1-800-922-1987

THESE DRAWINGS MAY NOT SHOW ALL UNDERGROUND PIPING AND UTILITIES. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING ALL EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES.

VERIZON WIRELESS IS RESPONSIBLE FOR ALL UTILITY LOCATES AND UTILITY RELOCATIONS REQUIRED FOR THIS INSTALLATION. VERIZON WIRELESS WILL SCHEDULE AND COORDINATE ALL WORK WITH THE OWNER TO ENSURE NO DISRUPTION TO OWNERS OPERATIONS.

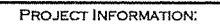
SHEET	DESCRIPTION
T1.0	TITLE SHEET
LS1	LAND SURVEY
LS2	LAND SURVEY
LS3	LAND SURVEY
TC-1	TRAFFIC CONTROL PLAN
A2.0	ENLARGED SITE PLAN
A3.0	ELEVATION
A4.0	DETAILS
A5.0	FOUNDATION PLAN & DETAILS
E1.0	PANEL SCHEDULE & CALCULATIONS
E2.0	ELECTRICAL SITE PLAN
E3.0	GROUNDING PLAN
E3.1	GROUNDING SCHEMATIC
E4.0	ELECTRICAL DETAILS

A map showing the location of the Site. The Site is a rectangular area located south of KVLE and east of CO RD 13A. CO RD 13A is a vertical line on the left. CO-115 NYN MAIN ST. is a diagonal line running from the top right towards the bottom. FROMAGE RD. is a diagonal line running from the bottom right towards the top. The Site is located between CO RD 13A and CO-115 NYN MAIN ST. A north arrow is located in the bottom right corner, pointing upwards. The text 'N.T.S.' is located below the north arrow.

FROM VERIZON WIRELESS OFFICE: TAKE I-225 SOUTH. MERGE ONTO I-25 NORTH EXIT ONTO US-285/HAMPDEN AVE AND TURN LEFT. YOU WILL STAY ON 285 SOUTH FOR 136.1 MILES. TURN RIGHT AT US-50 WEST, TRAVEL 59.4 MILES. TURN RIGHT AT CO-135 N/N MAIN ST. TRAVEL 1.5 MILES. TURN LEFT INTO KVLE PROPERTY.

TITLE	SIGNATURE	DATE
OWNER		
ENGINEER		
PROJECT MANAGER		

ACKNOWLEDGMENT OR "SIGN-OFF" BY PARTIES TO THE CONSTRUCTION DRAWINGS DOES NOT CONSTITUTE ALTERATION OF THE LEASE TERMS.

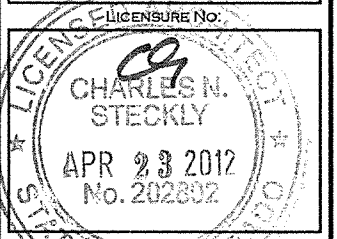


## CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

[illegible]

PLANS PREPARED BY:



DRAWN BY: CHK: APV:

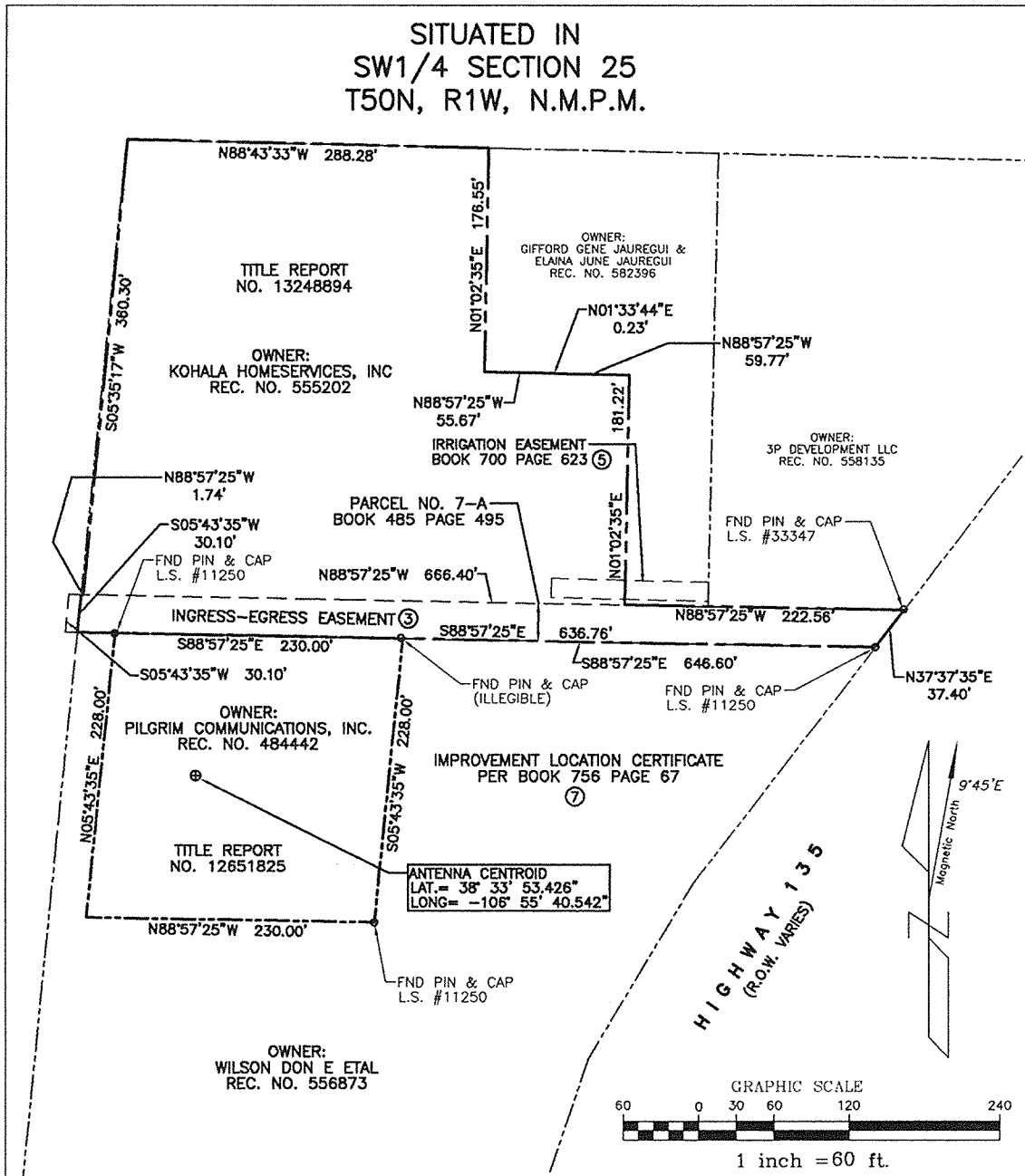
CONSULTANT:

SHEET TITLE:

# TITLE SHEET

SHEET NUMBER:

T1.0



**GEOGRAPHIC COORDINATES**  
LATITUDE: N 38° 33' 53.4259" (NAD83)  
LONGITUDE: W 106° 55' 40.5416" (NAD83)  
GROUND ELEVATION: 7744.52' (NAVD88)

**BENCHMARK**  
1.) NGS MONUMENT DESIGNATION X 423/  
PID JL0527 ELEVATION=7681.74' (NAVD88)  
2.) CHISELED BOX ON CONCRETE TOWER BASE  
ELEVATION=7744.52' (NAVD88)

**BASIS OF BEARINGS**  
COLORADO STATE PLANE CENTRAL ZONE (NAD83)  
CLASSIFICATION—FIRST  
MINIMUM GEOMETRIC ACCURACY  
STANDARD: 5.0cm + 1:10,000

**DATE OF FIELD SURVEY**  
JUNE 7, 2011

**TITLE REPORT**  
PREPARED BY: FIDELITY NATIONAL TITLE  
INSURANCE COMPANY ORDER NUMBER: 12651825  
EFFECTIVE DATE: APRIL 04, 2012 AT 8:00 A.M.

**NOTES**  
1.) REFERENCE WAS MADE IN THE PREPARATION OF THIS MAP TO A TITLE REPORT AS REFERENCED HEREON. I HAVE MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THE LESSOR'S LEGAL DESCRIPTION AND RECORD BOUNDARY ARE SHOWN HEREON FOR REFERENCE ONLY.  
2.) THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED TO AN EXPERT CONSULTANT.  
3.) THERE MAY BE ADDITIONAL BURIED OR UNDERGROUND UTILITIES IN THE AREA WHICH THE SURVEYOR IS UNAWARE OF AND NO LIABILITY FOR SUCH IS ASSUMED HEREIN. ALL UNDERGROUND UTILITIES SHOULD BE FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY.  
4.) THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR.  
5.) THIS SURVEY AND ACCOMPANYING DESCRIPTION(S) ARE NOT INTENDED FOR PURPOSE OF TRANSFER OF TITLE OR SUBDIVISION OF LAND.  
6.) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON. CRS 13-80-105(3A).  
7.) THIS IS NOT A BOUNDARY SURVEY, LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT.  
8.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY PRECISION SURVEY & MAPPING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD.  
9.) MAGNETIC DECLINATION INFORMATION SHOWN HEREON WAS PROVIDED BY THE NATIONAL GEOPHYSICAL DATA CENTER.

**LEGAL DESCRIPTION**

TRACT IN NW 1/4 SW ¼, SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M., COUNTY OF GUNNISON, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN COMMON WITH THE SOUTHWEST CORNER OF TRACT 7-A OF THE STATE DEPARTMENT OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO, PROJECT NO. S 0135 (2) FROM WHENCE THE E1/4 CORNER OF SAID SECTION 25 BEARS NORTH 85°25'08"EAST 4420.95 FEET; THENCE SOUTH 89°51'EAST 30.1 FEET ALONG THE SOUTH LINE OF SAID TRACT 7-A TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°51'EAST 230.0 FEET ALONG THE SOUTH LINE OF SAID TRACT 7-A TO A POINT; THENCE SOUTH 04°50'WEST 228.0 FEET TO A POINT; THENCE NORTH 89°51'WEST 230.0 FEET TO A POINT ON THE WEST LINE OF A 30.0 FOOT EASEMENT; THENCE NORTH 04°50'EAST 228.0 FEET ALONG THE WEST LINE OF SAID EASEMENT TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR PURPOSES TO INGRESS AND EGRESS TO THE ABOVE DESCRIBED TRACT, OVER A TRACT OF LAND SITUATE IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, NEW MEXICO PRINCIPAL MERIDIAN, GUNNISON COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WESTERLY RIGHT-OF-WAY OF COLORADO HIGHWAY 135 FROM WHENCE THE EAST QUARTER CORNER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, NEW MEXICO PRINCIPAL MERIDIAN, BEARS N84°59'30"EAST 3772.0 FEET; THENCE NORTH 89°51'WEST 666.4 FEET; THENCE SOUTH 04°50'WEST 30.1 FEET; THENCE SOUTH 89°51'EAST 646.6 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF COLORADO HIGHWAY 135; THENCE NORTH 36°44'EAST 37.4 FEET TO THE POINT OF BEGINNING.

AND BEING THE SAME PROPERTY CONVEYED TO PILGRIM COMMUNICATIONS, INC. FROM P. GENE HOOD BY QUITCLAIM DEED DATED JUNE 03, 1998 AND RECORDED JUNE 05, 1998 IN INSTRUMENT NO. 484149 AND RERECORDED ON JUNE 19, 1998 IN INSTRUMENT NO. 484442.

**ITEMS AFFECTING THE PROPERTY**

- 2.) RIGHT-OF-WAY EASEMENT IN FAVOR OF: THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, ITS SUCCESSORS AND ASSIGNS RECORDED ON: 02/11/1970 RECORDED IN: DEED BOOK 416, PAGE 242 (DOES NOT FALL ON SUBJECT PROPERTY-DUE TO POOR LEGAL DESCRIPTION)  
3.) RULE AND ORDER RECORDED ON: 06/06/1978 RECORDED IN: DEED BOOK 485, PAGE 495  
7.) CROSS EASEMENT AGREEMENT RECORDED ON: 11/21/1994 RECORDED IN: DEED BOOK 756, PAGE 67  
8.) RESOLUTION NO. 20 RECORDED ON: 04/26/1995 RECORDED IN: DEED BOOK 763, PAGE 49  
9.) CERTIFICATE OF EXISTENCE RECORDED ON: 09/26/2002 RECORDED IN: INSTRUMENT NO. 524131  
10.) NOTICE OF LIEN: TAXPAYER: PILGRIM COMMUNICATIONS INC. RECORDED ON: 11/13/2006 RECORDED IN: INSTRUMENT NO. 570800 ORIGINAL \$ AMT.: \$3,666.66  
11.) STATEMENT OF LIEN: TAXPAYER: KVLE/PILGRIM COMMUNICATIONS RECORDED ON: 02/29/2008 RECORDED IN: INSTRUMENT NO. 582399 ORIGINAL \$ AMT.: \$4,565.68  
12.) NOTICE OF RELEASE OF LEIN: RECORDED ON: 09/19/2011 RECORDED IN: INSTRUMENT NO. 608319 (ITEM NO. 2 ON UPDATED POLICY)

**PROPOSED VERIZON WIRELESS LEASE AREA:**

A LEASE AREA LOCATED IN THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88°57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N63°20'43"W A DISTANCE OF 168.57 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N64°59'51"W A DISTANCE OF 20.00 FEET; THENCE N25°00'09"E A DISTANCE OF 35.00 FEET; THENCE S64°59'51"E A DISTANCE OF 20.00 FEET; THENCE S25°00'09"W A DISTANCE OF 35.00 FEET TO THE POINT OF BEGINNING.

**PROPOSED 12' ACCESS EASEMENT (STRIP "A"):**

AN EASEMENT 12.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 6.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88°57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N63°17'03"W A DISTANCE OF 162.57 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N25°00'09"E A DISTANCE OF 33.89 FEET; THENCE N45°59'26"E A DISTANCE OF 107.87 FEET; THENCE N53°51'38"E A DISTANCE OF 81.90 FEET TO THE NORTHERLY OF SAID LANDS AND THE POINT OF TERMINUS.

**PROPOSED 12' NON-EXCLUSIVE ACCESS & UTILITY EASEMENT (STRIP "B"):**

AN EASEMENT 12.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 6.00 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88°57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LANDS DESCRIBED AT RECEPTION NO. 484442, SAID POINT BEARS N03°13'58"E A DISTANCE OF 227.40 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N53°51'38"E A DISTANCE OF 25.54 FEET; THENCE N82°47'01"E A DISTANCE OF 59.60 FEET; THENCE S88°57'25"E A DISTANCE OF 325.07 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY OF HIGHWAY 135 AND THE POINT OF TERMINUS.

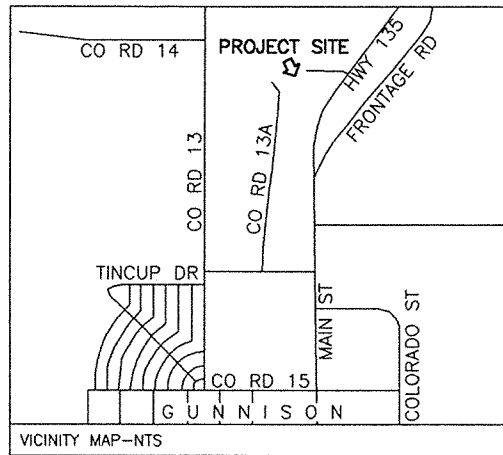
**PROPOSED 5' UTILITY EASEMENT:**

AN EASEMENT 5.00 FEET IN WIDTH CROSSING A PART OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST OF THE NEW MEXICO PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO, SAID EASEMENT BEING 2.50 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, SIDELINES TO BE LENGTHENED OR SHORTENED SO AS NOT TO CREATE ANY GORES OR OVERLAPS:

BASIS OF BEARING OF THIS DESCRIPTION IS ALONG THE SOUTHERLY LINE OF LANDS DESCRIBED AT RECEPTION NO. 484442, FILED IN THE GUNNISON COUNTY CLERK AND RECORDER'S OFFICE, ASSUMED TO BEAR N88°57'25"W A DISTANCE OF 230.00 FEET.

BEGINNING AT A POINT WHICH BEARS N52°13'01"W A DISTANCE OF 166.63 FEET FROM A PIN AND CAP STAMPED L.S. #11250 FOUND AT THE SOUTHEAST CORNER OF SAID RECEPTION NO. 484442;

THENCE N16°33'22"W A DISTANCE OF 78.92 FEET; THENCE N31°47'16"E A DISTANCE OF 33.16 FEET TO THE POINT OF TERMINUS.



**verizon wireless**  
VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014  
PHONE: 303.873.2800

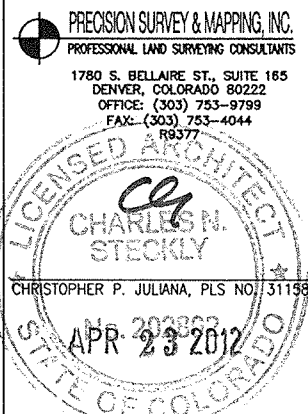
**CSAi**  
CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE — PLANNING — DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.8974  
FAX: 303.932.6581

**PROJECT INFORMATION:**

SITE NAME  
**CO3 POPGUN POP**  
1445 STATE HWY 135  
GUNNISON, CO., 81230

REV:	DATE:	DESCRIPTION:	BY:
0	6/14/11	SURVEY ISSUE	JL
1	7/6/11	ADDED LEASE AREA & EASEMENTS	JL
2	7/14/11	ADDED PROPERTY LINES TO THE NORTH	JL
3	1/27/12	REVISED EASEMENTS	JL
4	4/10/12	UPDATED/ADDED TITLE POLICY	JL
5	4/11/12	REVISED/ADDED EASEMENTS	JL

**PLANS PREPARED BY:**



**SURVEYOR'S CERTIFICATION**  
I, CHRISTOPHER P. JULIANA, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP AND THE IMPROVEMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.

**SHEET TITLE:**

**CIVIL SURVEY**

**SHEET NUMBER:**

**LS 1**

TITLE REPORT

PREPARED BY: FIDELITY NATIONAL TITLE  
INSURANCE COMPANY ORDER NUMBER: 13248894  
EFFECTIVE DATE: APRIL 4, 2012 AT 8:00 A.M.

LEGAL DESCRIPTION

PROPERTY LOCATED IN GUNNISON, CO  
A TRACT OF PARCEL OF LAND OF THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO, PROJECT NO. S 0135 (2) SEC. 2 CONTAINING 3.385 ACRES, MORE OR LESS, IN THE N1/42SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, OF THE NEW MEXICO PRINCIPAL MERIDIAN, IN GUNNISON COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 100R REV.

BEGINNING AT A POINT ON THE NORTH LINE OF THE N1/2SW1/4 OF SEC. 25, FROM WHICH THE NE CORNER OF SEC. 25 BEARS N. 59° 08' 30" E. A DISTANCE OF 5094.3 FEET;  
1. THENCE S. 4° 26' 30" W. A DISTANCE OF 354.1 FEET;  
2. THENCE S. 89° 51' E. A DISTANCE OF 372.5 FEET;  
3. THENCE N. 0° 09' E. A DISTANCE OF 353.1 FEET;  
4. THENCE N. 89° 51' W. A DISTANCE OF 346.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PORTION OF SAID TRACT OR PARCEL CONTAINS 2.912 ACRES, MORE OR LESS.

ALSO

PARCEL 7A

A TRACT OR PARCEL OF LAND OF THE DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO, PROJECT NO. S 0135 (2) SEC. 1 CONTAINING 0.473 ACRES, MORE OR LESS, IN THE N1/2SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, OF THE NEW MEXICO PRINCIPAL MERIDIAN, IN GUNNISON COUNTY, COLORADO, SAID TRACT OR PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF THAT PROPERTY DESCRIBED IN B. 381 AT P. 115 OF THE GUNNISON COUNTY RECORDS IN THE SW1/4 OF SAID SEC. 25, FROM WHICH THE E1/4 COMER OF SAID SEC. 25 BEARS N. 84° 59' 30" E. A DISTANCE OF 3722.0 FEET;  
1. THENCE N. 89° 51' W. ALONG THE SOUTHERLY PROPERTY LINE DESCRIBED IN SAID B. 381 AT P.115, A DISTANCE OF 696.5 FEET TO THE WEST PROPERTY LINE DESCRIBED IN B. 403 OF THE GUNNISON COUNTY RECORDS;  
2.THENCE S. 4° 50' W., ALONG SAID WEST PROPERTY LINE, A DISTANCE OF 30.1 FEET;  
3.THENCE S. 89° 51' E. A DISTANCE OF 676.7 FEET;  
4.THENCE N. 36° 44' E. A DISTANCE OF 37.4 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PORTION OF SAID TRACT OR PARCEL CONTAINS 0.473 ACRES, MORE OR LESS.

THE ABOVE DESCRIBED TRACT OR PARCEL CONTAINS 3.385 ACRES, MORE OR LESS.

BOTH PARCELS SUBJECT TO EXISTING UTILITIES AND EASEMENTS.

SUBJECT TO ALL EXISTING RIGHTS OF ACCESS OVER AND ACROSS PARCEL 7A, SPECIFIED IN B. 485 AT P. 495 OF THE GUNNISON COUNTY RECORDS.

AND BEING THE SAME PROPERTY CONVEYED TO MOUNTAIN WINDOWS, INC. FROM DEPARTMENT OF TRANSPORTATION STATE OF COLORADO BY QUITCLAIM DEED DATED SEPTEMBER 18, 1995 AND RECORDED SEPTEMBER 18, 1995 IN DEED BOOK 770, PAGE 529; CORRECTIVE DEED RECORDED ON FEBRUARY 26, 1996 IN DEED BOOK 779, PAGE 72.

A TRACT OF LAND WITHIN THE N1/2SW1/4 OF SECTION 25, TOWNSHIP 50 NORTH, RANGE 1 WEST, NEW MEXICO PRINCIPAL MERIDIAN, GUNNISON COUNTY, COLORADO; SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 25, (AS WITNESSED BY A PRIVATE SURVEYOR'S MONUMENT INSCRIBED "LS 11250"), THENCE SOUTH 89° 37' 08" EAST 929.16 FEET ALONG THE NORTH BOUNDARY OF SAID N1/2SW1/4 TO THE NORTHWEST CORNER OF THE ARROW GAS PROPERTY, (AS DESCRIBED IN BOOK 381 AT PAGE 115 OF THE RECORDS OF GUNNISON COUNTY); SAID CORNER ALSO BEING THE POINT OF BEGINNING FOR THE HEREIN DESCRIBED TRACT; THENCE THE FOLLOWING COURSES AROUND SAID TRACT;

1. SOUTH 04° 41' 42" WEST 360.30 FEET ALONG THE WEST BOUNDARY OF SAID ARROW GAS PROPERTY TO THE SOUTHWEST CORNER OF SAID ARROW GAS PROPERTY;
2. NORTH 89° 61' 00" WEST 1.74 FEET TO A POINT ON THE WEST BOUNDARY OF THE EILEBRECHT PROPERTY , (AS DESCRIBED IN BOOK 403 AT PAGE 242 OF SAID RECORDS);
3. SOUTH 04° 50' 00" WEST 30.10 FEET ALONG SAID BOUNDARY;
4. SOUTH 89° 52' 00" EAST 636.76 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THE STATE OF COLORADO PROPERTY, (AS DESCRIBED IN BOOK 485 AT PAGE 49 OF SAID RECORDS);
5. NORTH 36° 44' 00" EAST 37.36 FEET ALONG SAID BOUNDARY TO A POINT ON THE SOUTH BOUNDARY OF SAID ARROW GAS PROPERTY;
6. NORTH 89° 51' 00" WEST 222.66 FEET ALONG SAID BOUNDARY TO THE SOUTHEAST CORNER OF THE MTN WINDOWS, INC. PROPERTY, (AS DESCRIBED UNDER RECEPTION NO. 494118 OF SAID RECORDS);
7. NORTH 00° 09' 00" EAST 181.22 FEET ALONG THE EAST BOUNDARY OF SAID MTN WINDOWS, INC. PROPERTY TO THE NORTHEAST CORNER OF SAID MTN WINDOWS, INC. PROPERTY;

LEGAL DESCRIPTION--CONTINUED

8. NORTH 89° 51' 00" WEST 59.77 FEET ALONG THE NORTH BOUNDARY OF SAID MTN WINDOWS, INC. PROPERTY TO THE NORTHWEST CORNER OF SAID MTN WINDOWS, INC. PROPERTY;

9. NORTH 00° 40' 09" EAST 0.23 FEET TO A POINT ON THE SOUTH BOUNDARY OF THE GREEN PROPERTY, (AS DESCRIBED UNDER RECEPTION NO. 494114 OF SAID RECORDS);

10. NORTH 89° 51 ' 00" WEST 55.67 FEET ALONG SAID BOUNDARY TO THE SOUTHWEST CORNER OF SAID GREEN PROPERTY;

11. NORTH 00° 09' 00" EAST 176.55 FEET ALONG THE WEST BOUNDARY OF SAID GREEN PROPERTY TO THE NORTHWEST CORNER OF SAID GREEN PROPERTY;

12. NORTH 89° 37' 08" WEST 288.28 FEET ALONG THE NORTH BOUNDARY OF SAID ARROW GAS PROPERTY TO THE NORTHWEST CORNER OF SAID ARROW GAS PROPERTY, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT. THIS TRACT CONTAINS 3.42 ACRES MORE OR LESS.

PARCEL NO. 1:

TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M.

SECTION 25: A TRACT OF LAND IN THE N1/2SW1/4 OF SAID SECTION 25, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER OF SAID SECTION 25, (AS ESTABLISHED FROM A PRIVATE SURVEYOR'S WITNESS CORNER MOVEMENT INSCRIBED ILLS 11250"); THENCE SOUTH 89°37'08" EAST 929.16 FEET ALONG THE EAST--WEST CENTER SECTION LINE OF SAID SECTION 25 TO THE NORTHWEST CORNER OF THE ARROW GAS PROPERTY, (AS DESCRIBED IN BOOK 381 AT PAGE 115 OF THE RECORDS OF GUNNISON COUNTY), SAID CORNER ALSO BEING THE POINT OF BEGINNING FOR THE HEREIN DESCRIBED TRACT; THENCE THE FOLLOWING COURSES AROUND SAID TRACT:

1. SOUTH 04°41'42" WEST 306.30 FEET ALONG THE WEST BOUNDARY OF SAID PROPERTY TO THE SOUTHWEST CORNER OF SAID PROPERTY;
2. NORTH 89°51'00" WEST 1.74 FEET TO A POINT ON THE WEST BOUNDARY OF THE EILEBRECHT PROPERTY, (AS DESCRIBED IN BOOK 403 AT PAGE 242 OF SAID RECORDS;
3. SOUTH 04°50'00" WEST 30.10 FEET ALONG SAID BOUNDARY;
4. SOUTH 89°51'00" EAST 676.70 FEET;
5. NORTH 11°21'45" WEST 30.62 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID ARROW GAS PROPERTY;
6. NORTH 89°51'00' WEST 293.89 FEET ALONG SAID BOUNDARY;
7. NORTH 00°09'00" EAST 357.78 FEET TO A POINT ON THE NORTH BOUNDARY OF SAID N1/2SW1/4 OF SECTION 25;
8. NORTH 89°37'08" WEST 343.95 FEET ALONG SAID BOUNDARY TO THE NORTHWEST CORNER OF SAID PROPERTY, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT.

EXCEPTING THEREFROM ANY PORTION OF THE ABOVE DESCRIBED PROPERTY LYING WITHIN THE BOUNDARIES OF COLORADO STATE HIGHWAY NO. 135,

FURTHER EXCEPTING THEREFROM THE FOLLOWING PARCEL CONVEYED TO BUDDY W. GREEN AND ADENA L. GREEN IN QUIT CLAIM DEED RECORDED JUNE 28, 1999 AS RECEPTION NO. 494114:

A TRACT OF LAND IN THE N1/2SW1/4 OF SAID SECTION 25, DESCRIBED AS COMMENCING AT CORNER NO. 1 OF A TRACT OF LAND DESCRIBED IN BOOK 381 AT PAGE 115 OF THE GUNNISON COUNTY RECORDS, WHENCE, THE WEST QUARTER CORNER OF SAID SECTION 25 BEARS NORTH 89°51' WEST 929.16 FEET; THENCE SOUTH 89°51' EAST 288.28 FEET ALONG THE NORTH BOUNDARY OF SAID N1/2SW1/4 TO THE TRUE POINT OF BEGINNING, THENCE SOUTH 00°09' WEST 176.55 FEET; THENCE SOUTH 89°51' EAST 115.44 FEET; THENCE SOUTH 00°09' WEST 176.55 FEET TO THE SOUTHERLY PROPERTY LINE OF TRACT DESCRIBED IN SAID BOOK 381 AT PAGE 115; THENCE NORTH 00°09' EAST 353.1 FEET TO THE NORTH BOUNDARY OF SAID N1/2SW1/4; THENCE NORTH 89°51' WEST 182.72 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 2:

TOWNSHIP 50 NORTH, RANGE 1 WEST, N.M.P.M.

SECTION 25: A TRACT OF LAND LOCATED IN THE N1/2SW1/4 OF SAID SECTION 25, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT CORNER NO. 1 OF A TRACT OF LAND DESCRIBED IN BOOK 381 AT PAGE 115 OF THE GUNNISON COUNTY RECORDS, WHENCE THE WEST QUARTER CORNER OF SAID SECTION 25 BEARS NORTH 89°51' WEST 929.16 FEET; THENCE SOUTH 89°51' EAST 346.0 FEET ALONG THE NORTH BOUNDARY OF SAID N1/2SW1/4; THENCE SOUTH 00°09' WEST 176.55 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°51' EAST 57.72 FEET; THENCE SOUTH 00°09' WEST 176.55 FEET TO THE SOUTHERLY PROPERTY LINE OF TRACT DESCRIBED IN SAID BOOK 381 AT PAGE 115; THENCE NORTH 89°51' WEST 59.77 FEET ALONG SAID SOUTHERLY PROPERTY LINE; THENCE NORTH 00°09' EAST 176.55 FEET; THENCE SOUTH 89°51' EAST 2.05 FEET TO THE TRUE POINT OF BEGINNING.

AND BEING THE SAME PROPERTY CONVEYED TO KOHALA HOMESERVICES, INC., A COLORADO CORPORATION FROM MOUNTAIN WINDOWS, INC., A COLORADO CORPORATION BY BARGAIN AND SALE DEED DATED JUNE 23, 2005 AND RECORDED JUNE 30, 2005 IN INSTRUMENT NO. 555202.

ITEMS AFFECTING THE PROPERTY

2.) EASEMENT IN FAVOR OF: STATE DEPARTMENT OF HIGHWAYS  
DIVISION OF HIGHWAYS, STATE OF COLORADO RECORDED ON:  
05/30/1975 RECORDED IN: DEED BOOK 485, PAGE 412

3.) EASEMENT IN FAVOR OF: STATE DEPARTMENT OF HIGHWAYS  
DIVISION OF HIGHWAYS, STATE OF COLORADO RECORDED ON:  
05/30/1975 RECORDED IN: DEED BOOK 485, PAGE 414

4.) RULE AND ORDER EASEMENT IN FAVOR OF: STATE DEPARTMENT  
OF HIGHWAYS, DIVISION OF HIGHWAYS, STATE OF COLORADO  
RECORDED ON: 09/23/1975 RECORDED IN: DEED BOOK 489,  
PAGE 169

5.) GRANT OF EASEMENT IN FAVOR OF: RICHARD H. HAYNES AND  
KATHERINE R. HAYNES, THEIR HEIRS, SUCCESSORS AND ASSIGNS  
RECORDED ON: 0112111992 RECORDED IN: DEED BOOK 700,  
PAGE 623

6.) CERTIFICATE RECORDED ON: 02/26/1996 RECORDED IN: DEED  
BOOK 779, PAGE 76

7.) ARTICLES OF AMENDMENT RECORDED ON: 03/06/2012  
RECORDED IN: INSTRUMENT NO. 20021054999

VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014  
PHONE: 303.873.2800

CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE -- PLANNING -- DESIGN  
5835 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.8974  
FAX: 303.932.8581

PROJECT INFORMATION:

SITE NAME

C03 POPGUN POP

1445 STATE HWY 135  
GUNNISON, CO., 81230

REV:	DATE:	DESCRIPTION:	BY:
0	6/14/11	SURVEY ISSUE	JL
1	7/6/11	ADDED LEASE AREA & EASEMENTS	JL
2	7/14/11	ADDED PROPERTY LINES TO THE NORTH	JL
3	1/27/12	REVISED EASEMENTS	JL
4	4/10/12	UPDATED/ADDED TITLE POLICY	JL
5	4/11/12	REVISED/ADDED EASEMENTS	JL

PLANS PREPARED BY:

PRECISION SURVEY & MAPPING, INC.  
PROFESSIONAL LAND SURVEYING CONSULTANTS  
1780 S. BELLAIRE ST., SUITE 165  
DENVER, COLORADO 80222  
OFFICE: (303) 753-9799  
FAX: (303) 753-4044  
R9377

SURVEYOR'S CERTIFICATION

I, CHRISTOPHER P. JULIANA, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP AND THE IMPROVEMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

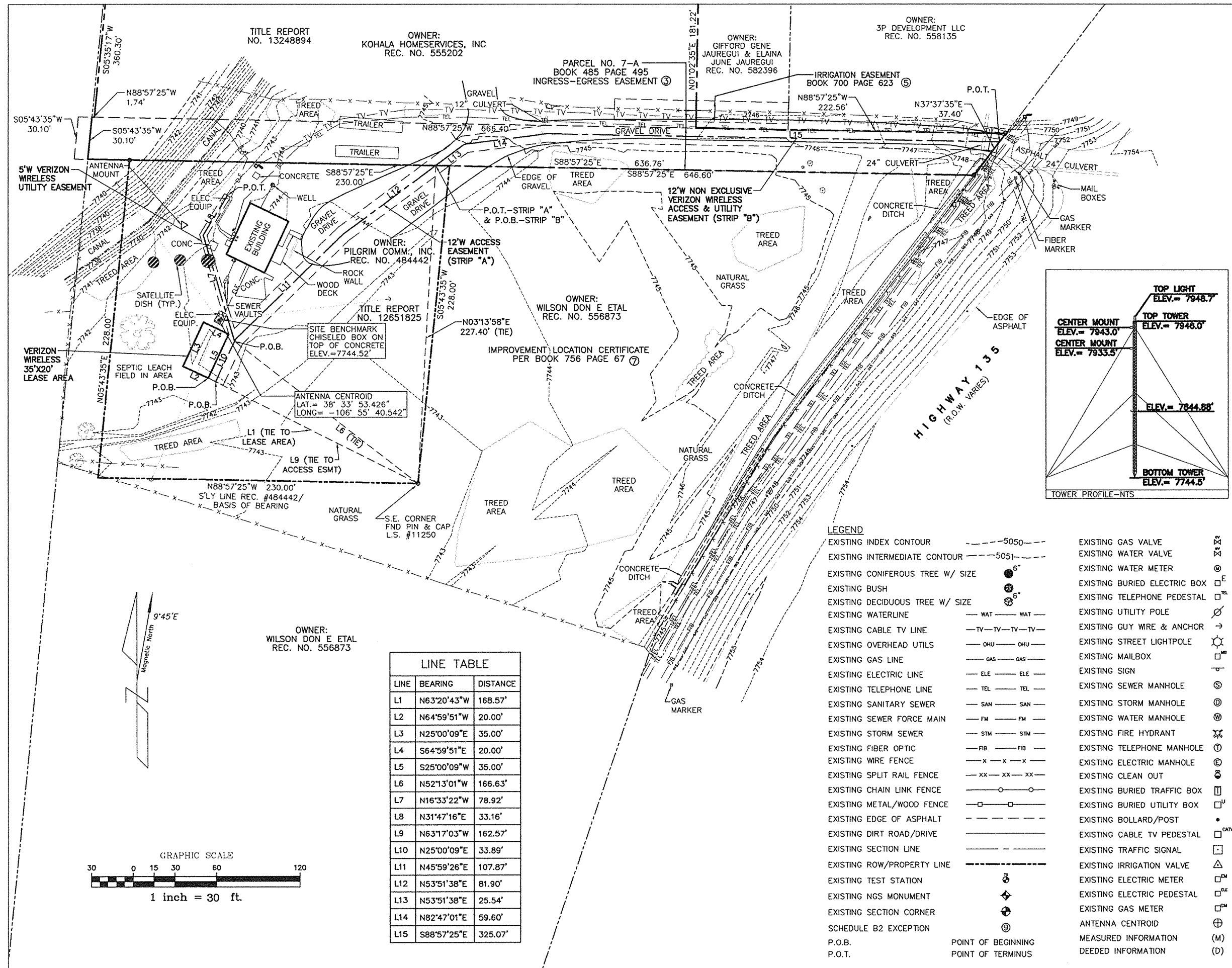
THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.

SHEET TITLE:

CIVIL SURVEY

SHEET NUMBER:

LS 2



**verizon wireless**  
VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014  
PHONE: 303.873.2800

**CSAi**  
CHARLES STECKLY ARCHITECTURE, INC.  
ARCHITECTURE - PLANNING - DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.932.6561

PROJECT INFORMATION:  
SITE NAME  
**CO3 POPGUN POP**  
1445 STATE HWY 135  
GUNNISON, CO., 81230

REV.	DATE:	DESCRIPTION:	BY:
0	8/14/11	SURVEY ISSUE	JL
1	7/8/11	ADDED LEASE AREA & EASEMENTS	JL
2	7/14/11	ADDED PROPERTY LINES TO THE NORTH	JL
3	1/27/12	REVISED EASEMENTS	JL
4	4/10/12	UPDATED/ADDED TITLE POLICY	JL
5	4/11/12	REVISED/ADDED EASEMENTS	JL

PLANS PREPARED BY:  
**PRECISION SURVEY & MAPPING, INC.**  
PROFESSIONAL LAND SURVEYING CONSULTANTS  
1780 S. BELLAIRE ST., SUITE 185  
DENVER, COLORADO 80222  
OFFICE: (303) 753-9799  
FAX: (303) 753-4044  
R9377

**CHARLES STECKLY**  
LICENSED ARCHITECT  
CHRISTOPHER P. JULIANA, PLS. NO. 31158  
APR 23 2012  
No. 202802

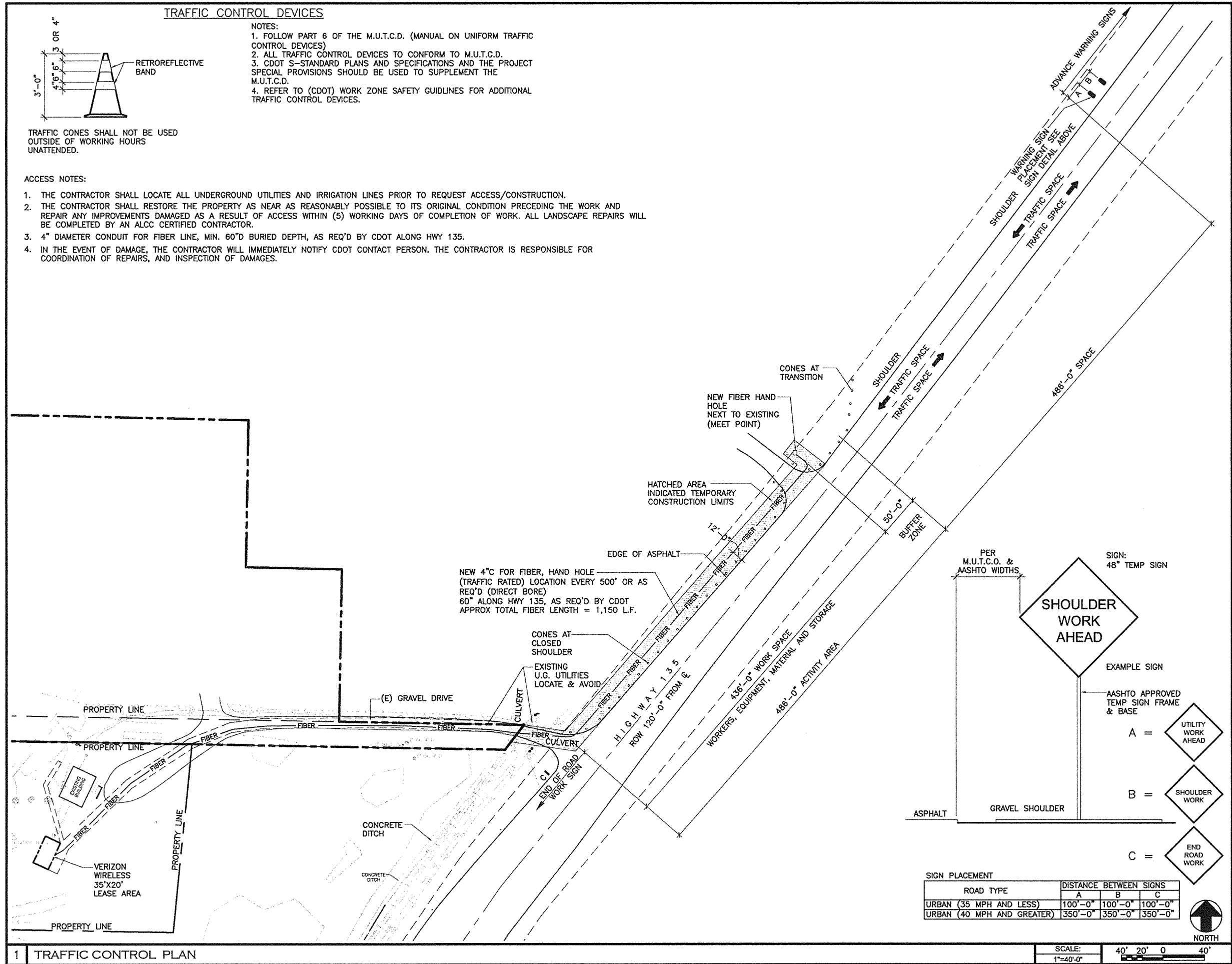
**SURVEYOR'S CERTIFICATION**  
I, CHRISTOPHER P. JULIANA, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP AND THE IMPROVEMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.

SHEET TITLE:  
**CIVIL SURVEY**

SHEET NUMBER:  
**LS 3**





VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014  
PHONE: 303.873.2800

PROJECT INFORMATION:

CO3 POP GUN POP

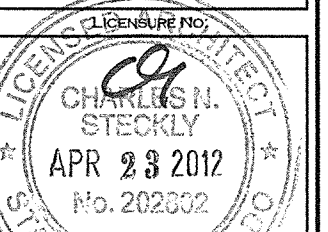
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GUNNISON, CO 81230

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B	10/20/11	COMMENTS	SSB
C	11/02/11	COMMENTS	SSB
D	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

**CSai**

CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE - PLANNING - DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.932.6561



DRAWN BY: CHK: APV:  
SSB JLTN CS

CONSULTANT:

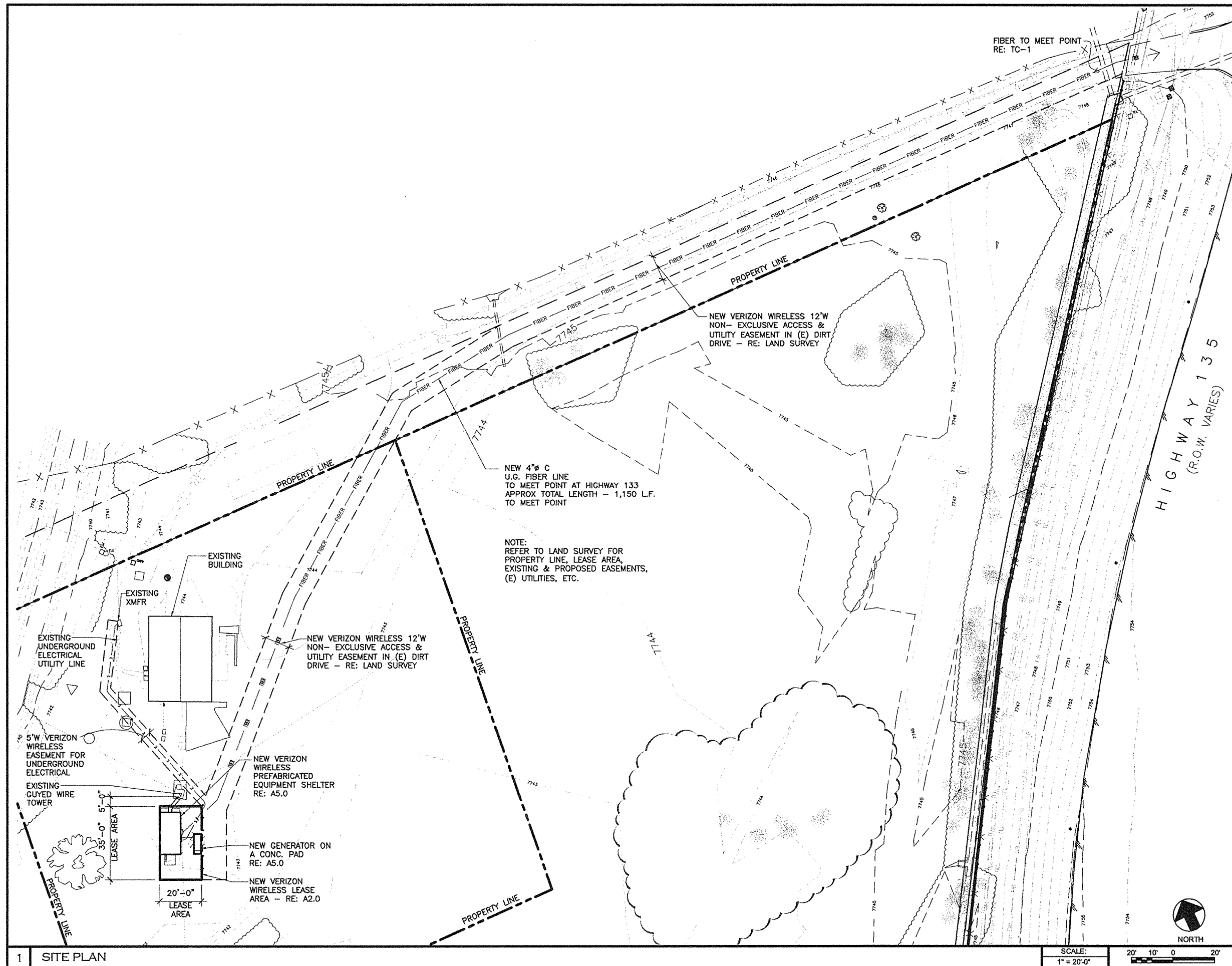
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TRAFFIC  
CONTROL  
PLAN

SHEET NUMBER:

TC-1

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PLOTTED Apr 23, 2012 AT 11:10am



VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

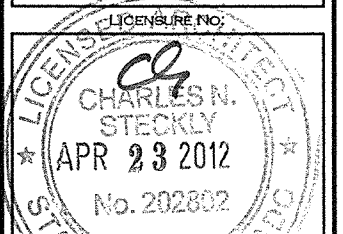
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GUNNISON, CO 81230

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B	11/15/11	GENERATOR ADD	SSB
C	02/22/12	UPDATED FIBER ROUTE	SSB
D	04/18/12	UPDATED FIBER ROUTE	SSB
E	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

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FAX: 303.932.6561



DRAWN BY: CHIC APV:  
SSB OF CON: CS

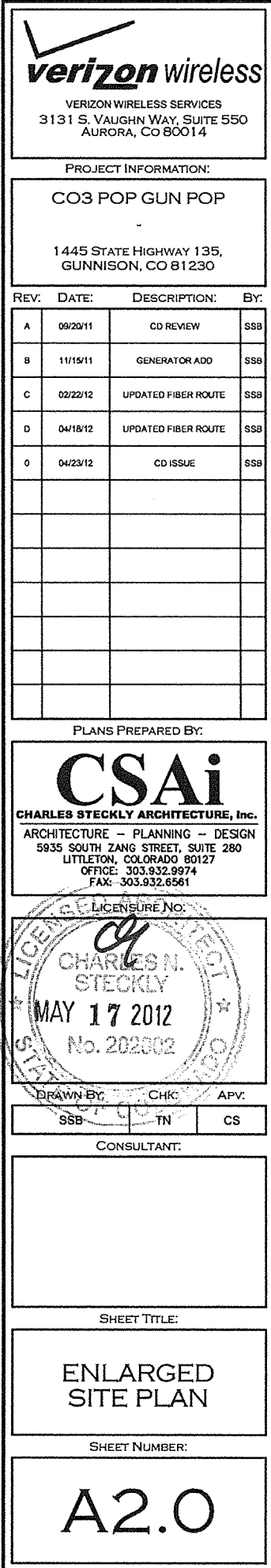
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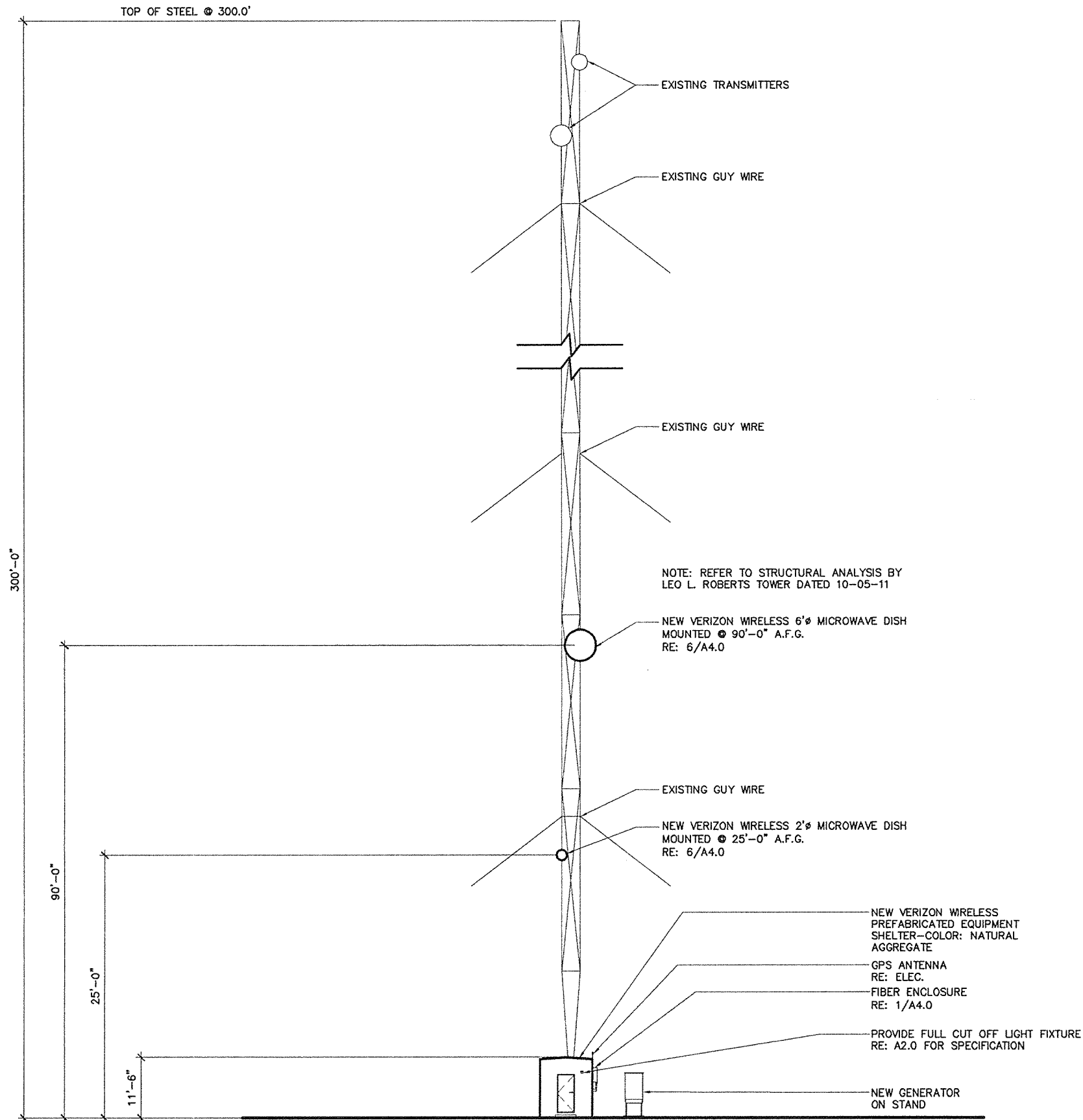
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SHEET NUMBER:

A1.0



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1

SOUTH ELEVATION

SCALE:  
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32' 16' 0 32'



PROJECT INFORMATION:

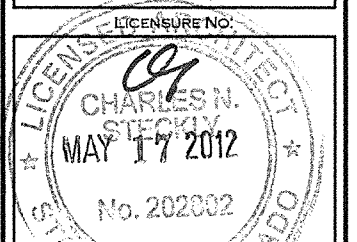
CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

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A	09/20/11	CD REVIEW	SSB
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LITTLETON, COLORADO 80127  
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DRAWN BY: CHK: APV:

SSB TN CS

CONSULTANT:

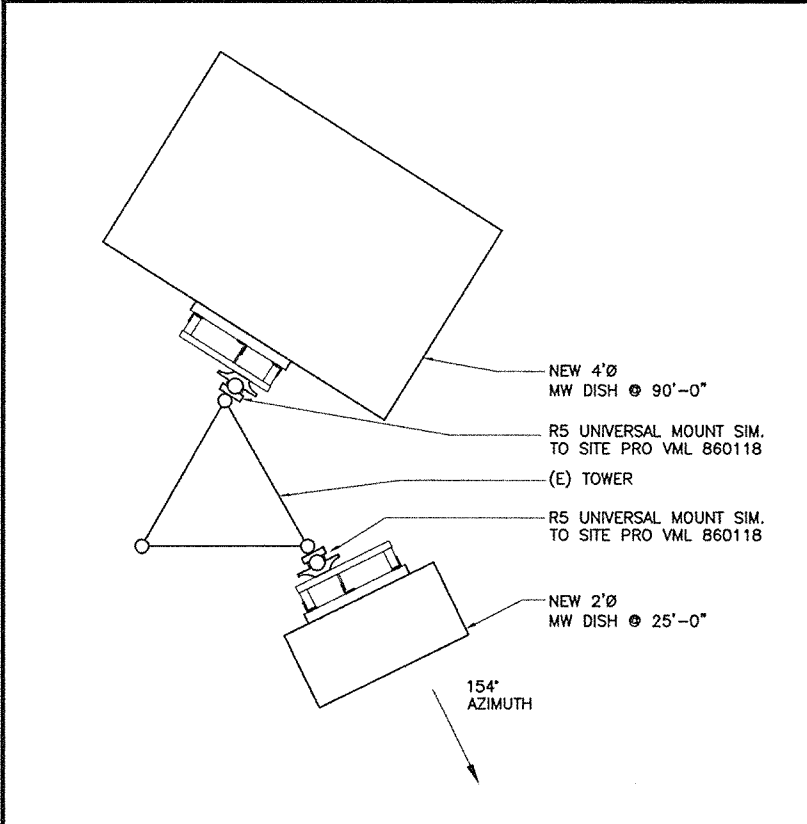
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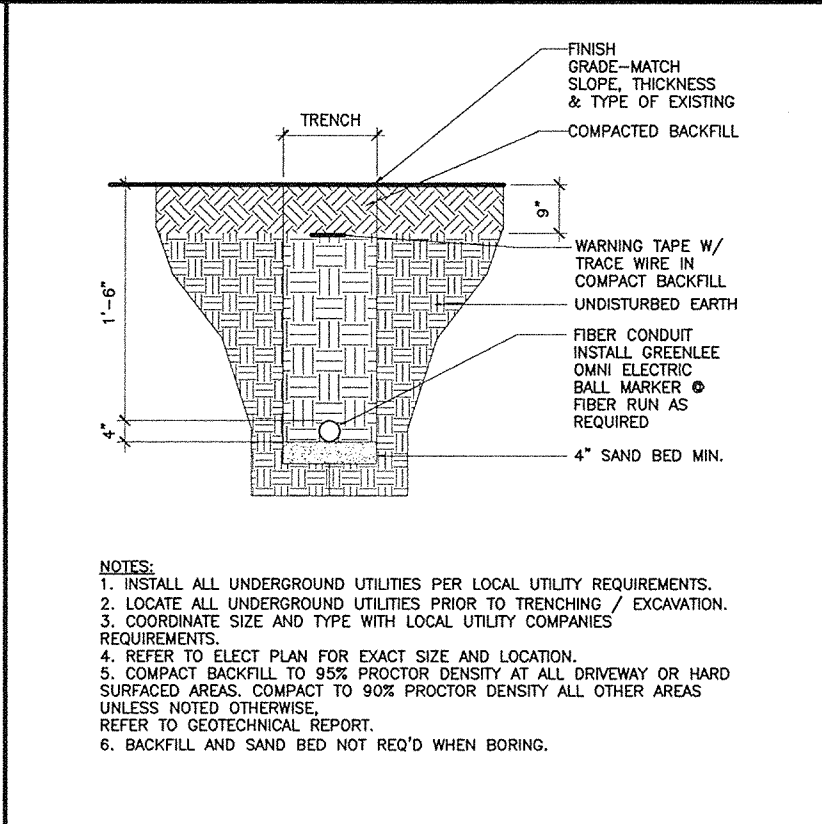
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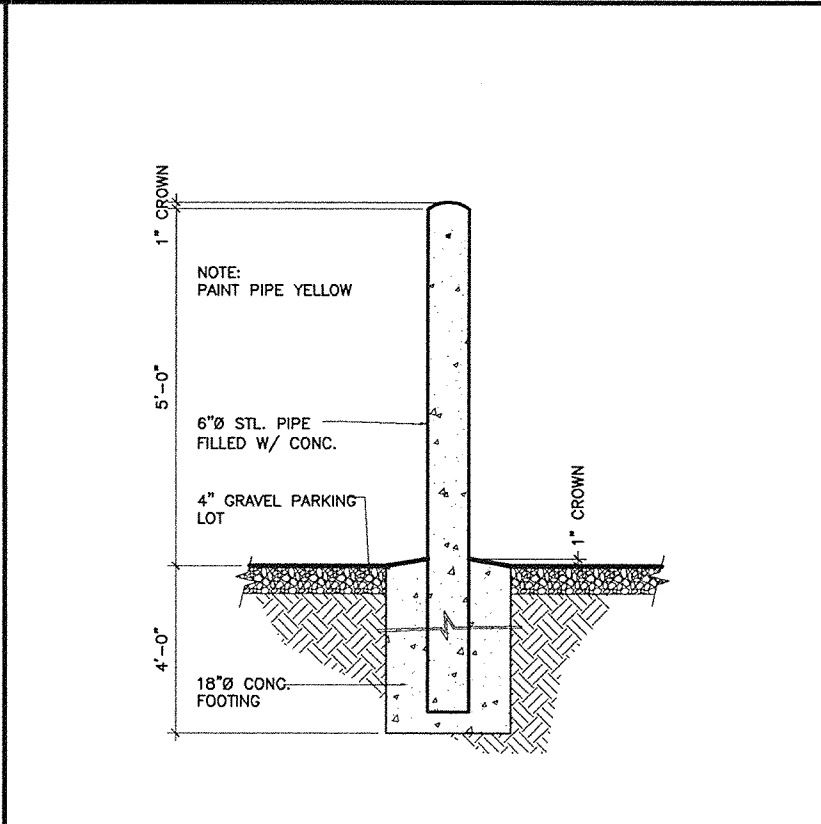




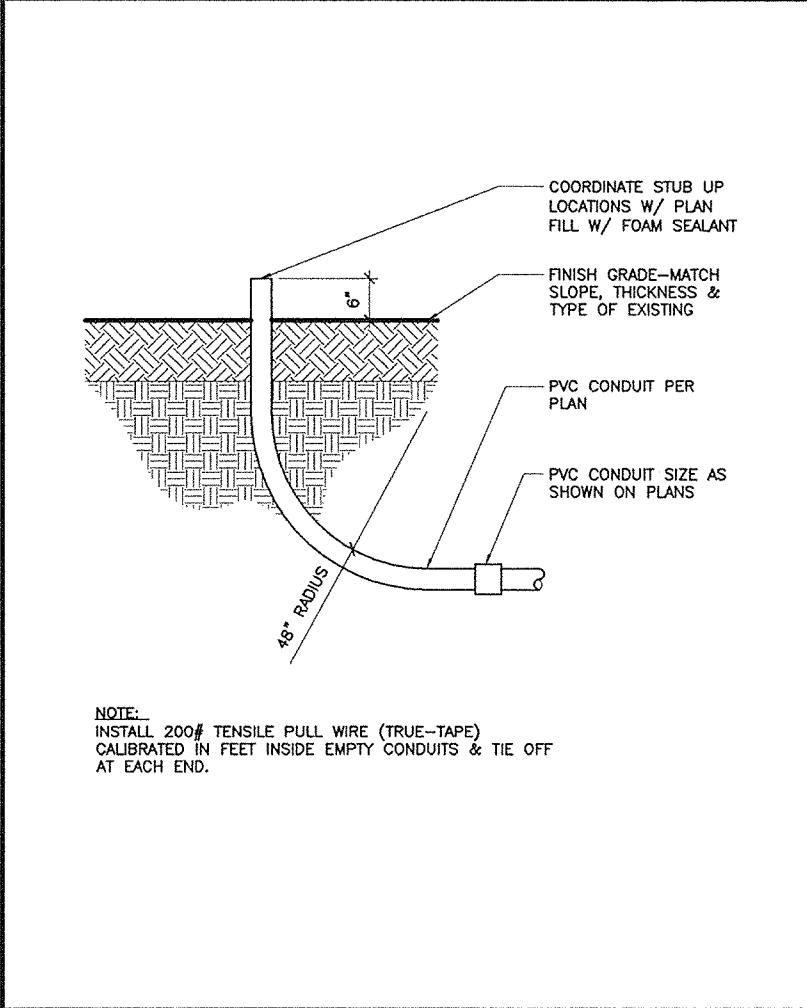
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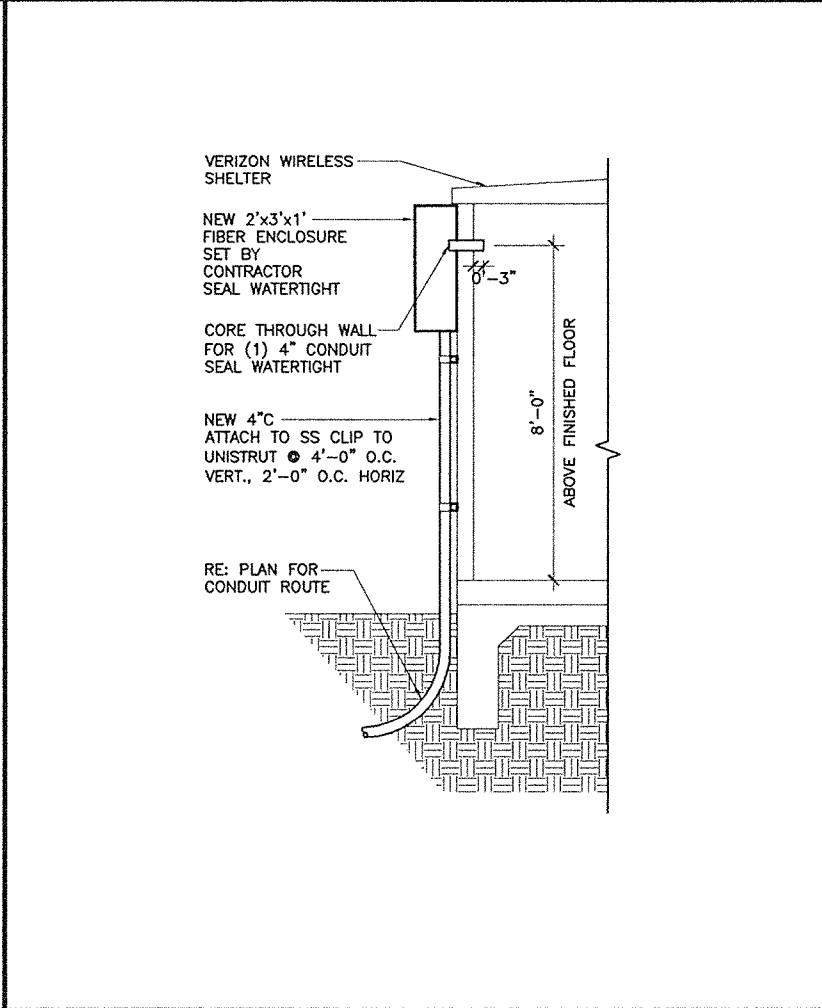
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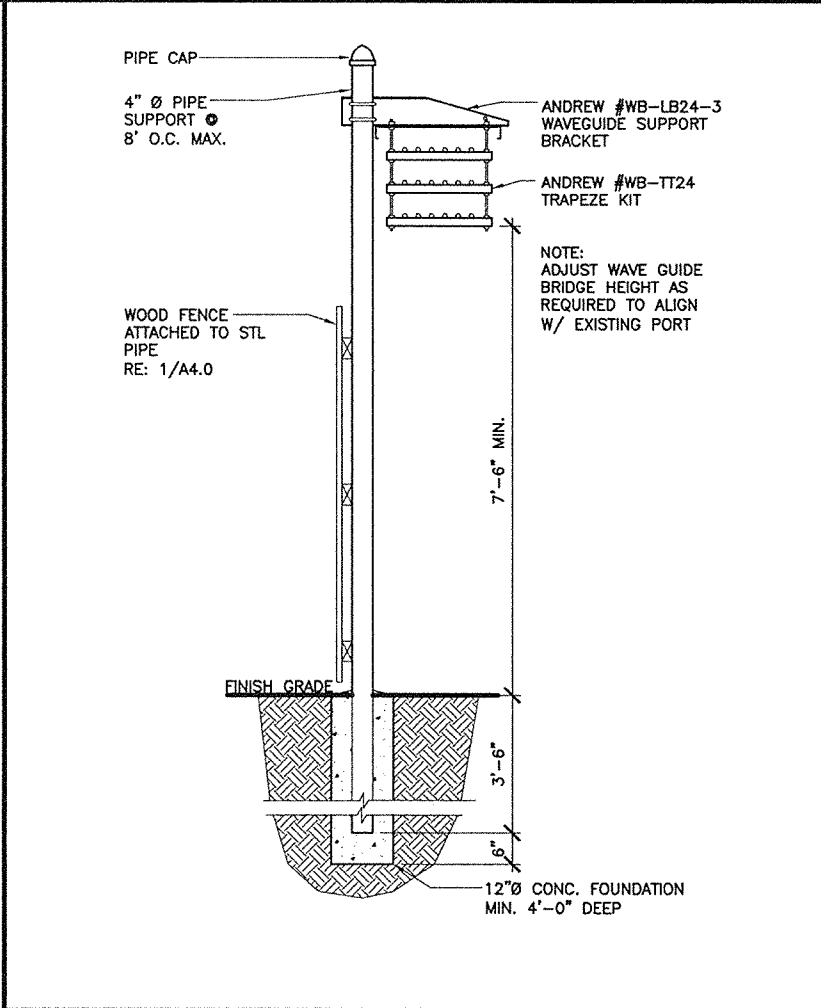
2 BOLLARD DETAIL



5 CONDUIT DETAIL



3 FIBER ENCLOSURE



1 WAVEGUIDE BRIDGE DETAIL

VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

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E	04/23/12	CD ISSUE	SSB

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OFFICE: 303.932.9974  
FAX: 303.932.6561

LICENSURE NO. 202802

APR 23 2012

CHARLES N. STECKLY

DRAWN BY: SSB

CHK: OFC

APV: CS

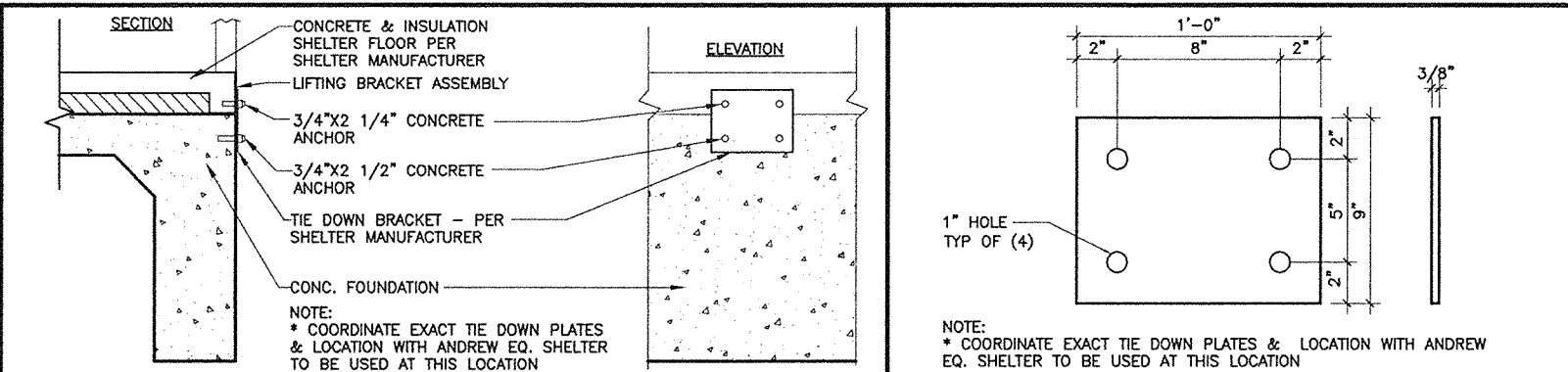
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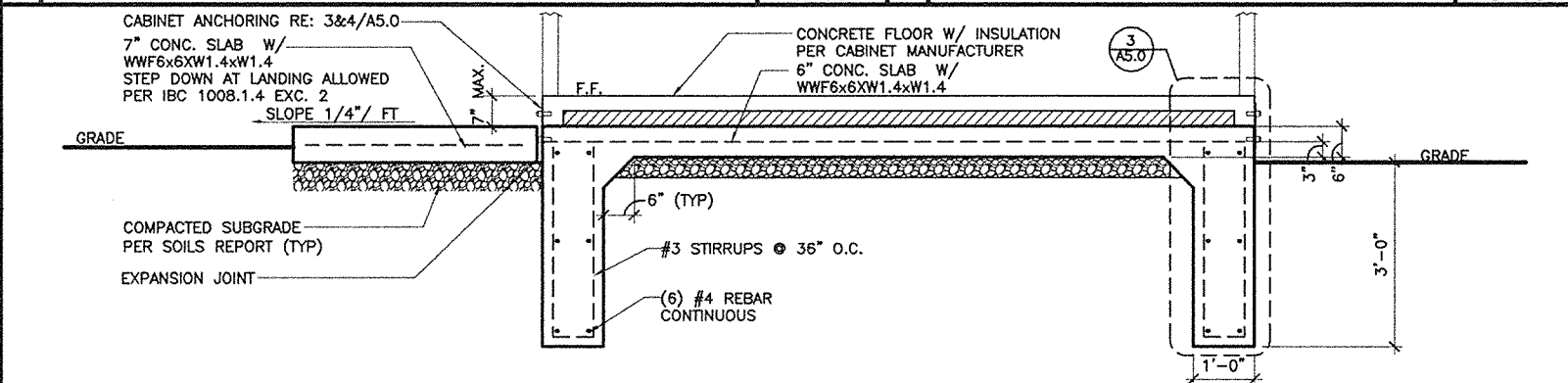
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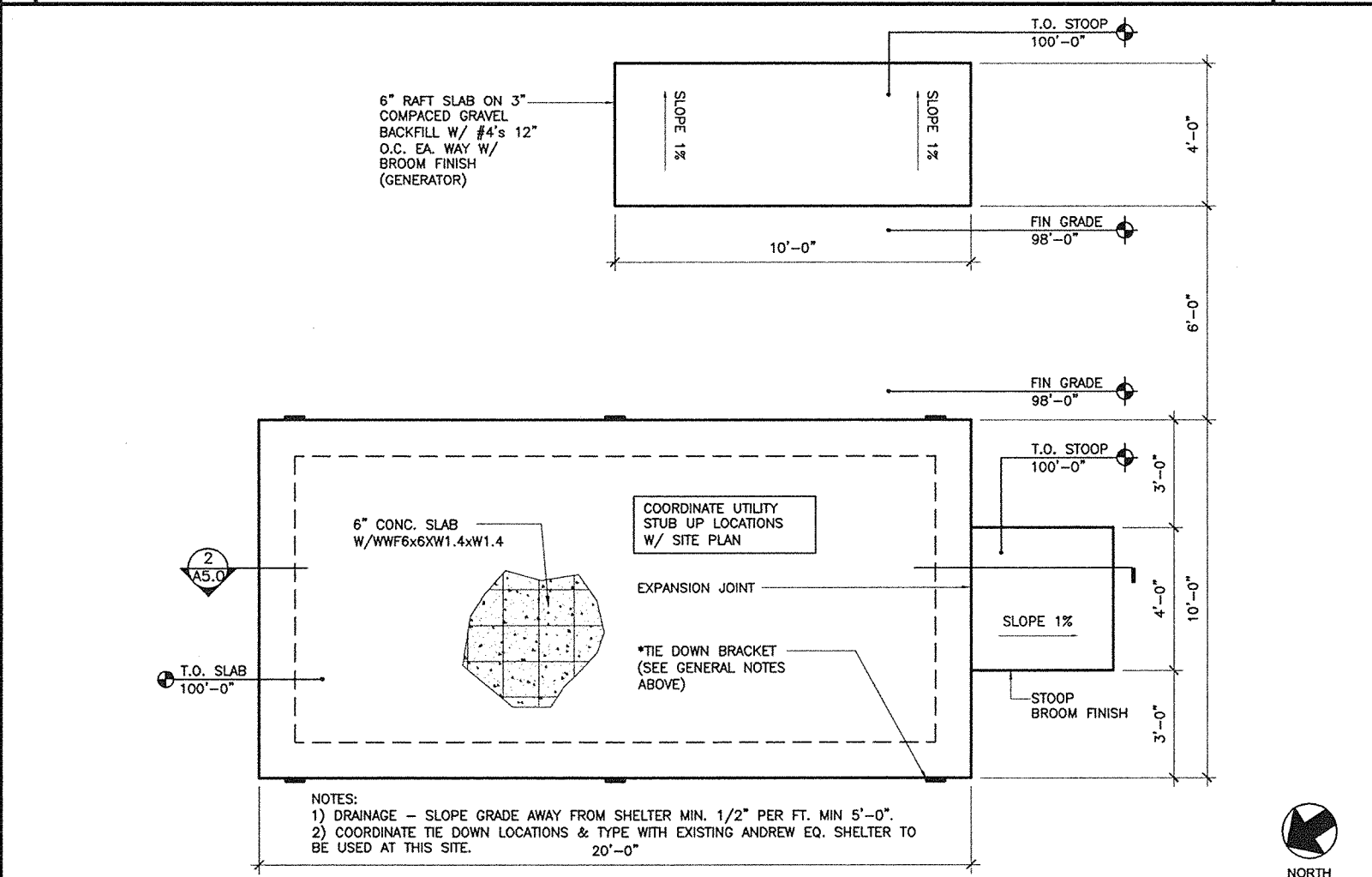
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3 TIE-DOWN DETAIL SCALE: 1" = 1'-0" 4 DETAIL SCALE: 3" = 1'-0"



2 FOUNDATION SECTION SCALE: 3/4\"/>



1 FOUNDATION PLAN SCALE: 1/2\"/>

- GENERAL NOTES**
1. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
  2. DO NOT CHANGE SIZE NOR SPACING OF STRUCTURAL ELEMENTS.
  3. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
  4. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
  5. BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
  6. DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
  7. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL.
  8. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONCRETE NOTES**
1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
  2. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
  3. CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED ( $\pm 1.5\%$ ) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
  4. MAXIMUM AGGREGATE SIZE SHALL BE 1".
  5. THE FOLLOWING MATERIALS SHALL BE USED:  
PORTLAND CEMENT: ASTM C 150, TYPE I  
REINFORCEMENT: ASTM A 185  
NORMAL WEIGHT AGGREGATE: ASTM C 33  
WATER: DRINKABLE  
ADMIXTURES: NON-CHLORIDE CONTAINING
  6. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
  7. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
  8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:  
CONCRETE CAST AGAINST EARTH.....3 IN.  
  
CONCRETE EXPOSED TO EARTH OR WEATHER:  
#6 AND LARGER .....2 IN.  
#5 AND SMALLER & WWF .....1 1/2 IN.  
  
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:  
SLAB AND WALL .....3/4 IN.  
BEAMS AND COLUMNS .....1 1/2 IN.
  9. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
  10. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
  11. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
  12. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
  13. DO NOT WELD OR TACKWELD REINFORCING STEEL.
  14. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
  15. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
  16. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
  17. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
  18. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
  19. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
  20. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.

VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

REV: DATE: DESCRIPTION: BY:

A	09/20/11	CD REVIEW	SSB
B	11/15/11	GENERATOR ADD	SSB
C	02/22/12	UPDATED FIBER ROUTE	SSB
D	04/18/12	UPDATED FIBER ROUTE	SSB
E	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

**CSAi**  
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5935 SOUTH ZANG STREET, SUITE 280  
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OFFICE: 303.932.9974  
FAX: 303.932.6561

DRAWN BY: CHK AFV:  
SSB OF CC IN CS

CONSULTANT:

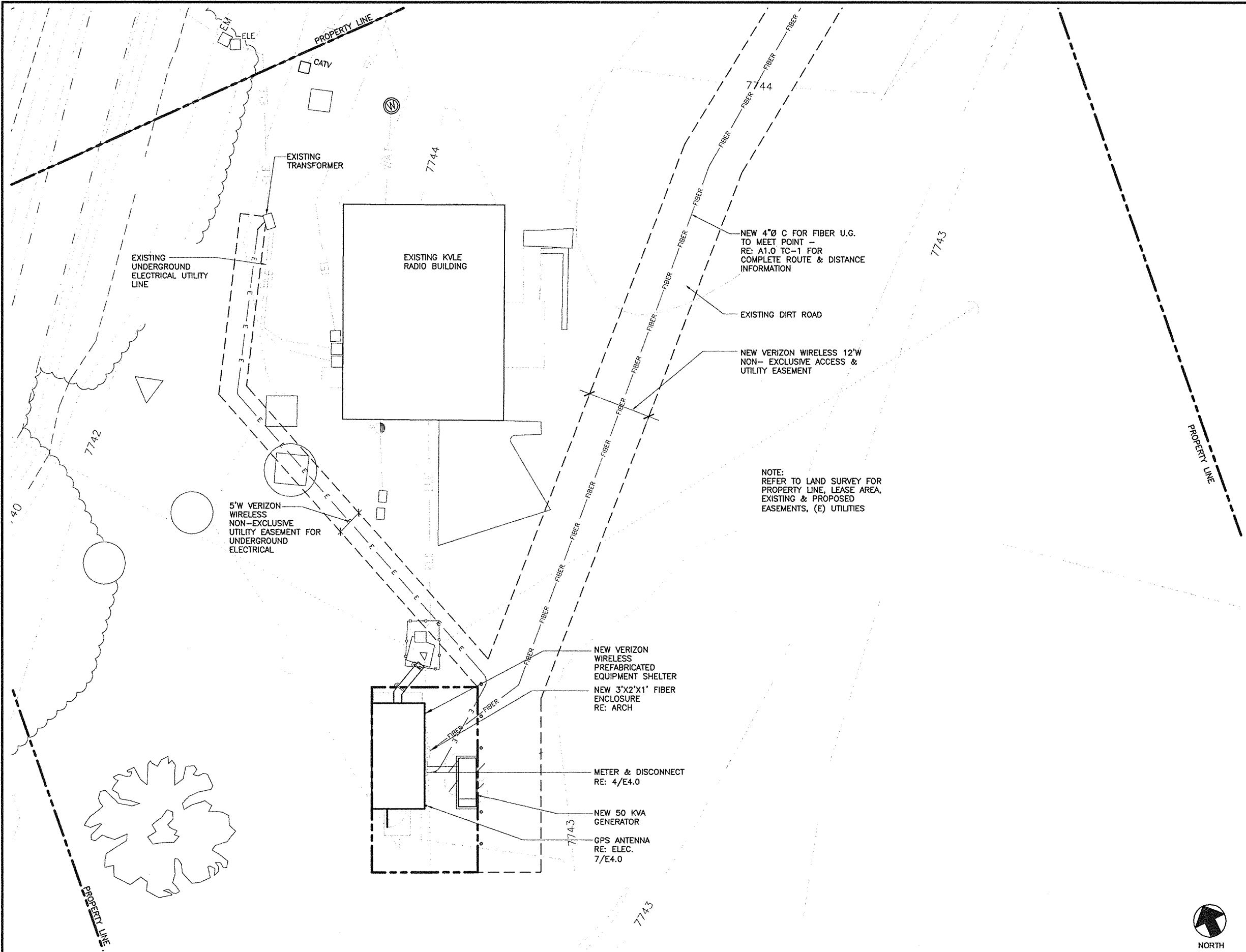
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FOUNDATION  
PLAN

SHEET NUMBER:

A5.0





VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

REV:	DATE:	DESCRIPTION:	BY:
A	09/20/11	CD REVIEW	SSB
B	11/15/11	GENERATOR ADD	SSB
C	02/22/12	UPDATED FIBER ROUTE	SSB
D	04/18/12	UPDATED FIBER ROUTE	SSB
E	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE - PLANNING - DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.432.6561

DR: DENNIS GREVEL  
APV: SSB TN CS

CONSULTANT:

DENNIS GREVEL, P.E.  
12311 WEST PRENTICE PLACE  
LITTLETON, COLORADO 80127  
PHONE: 303.478.3337

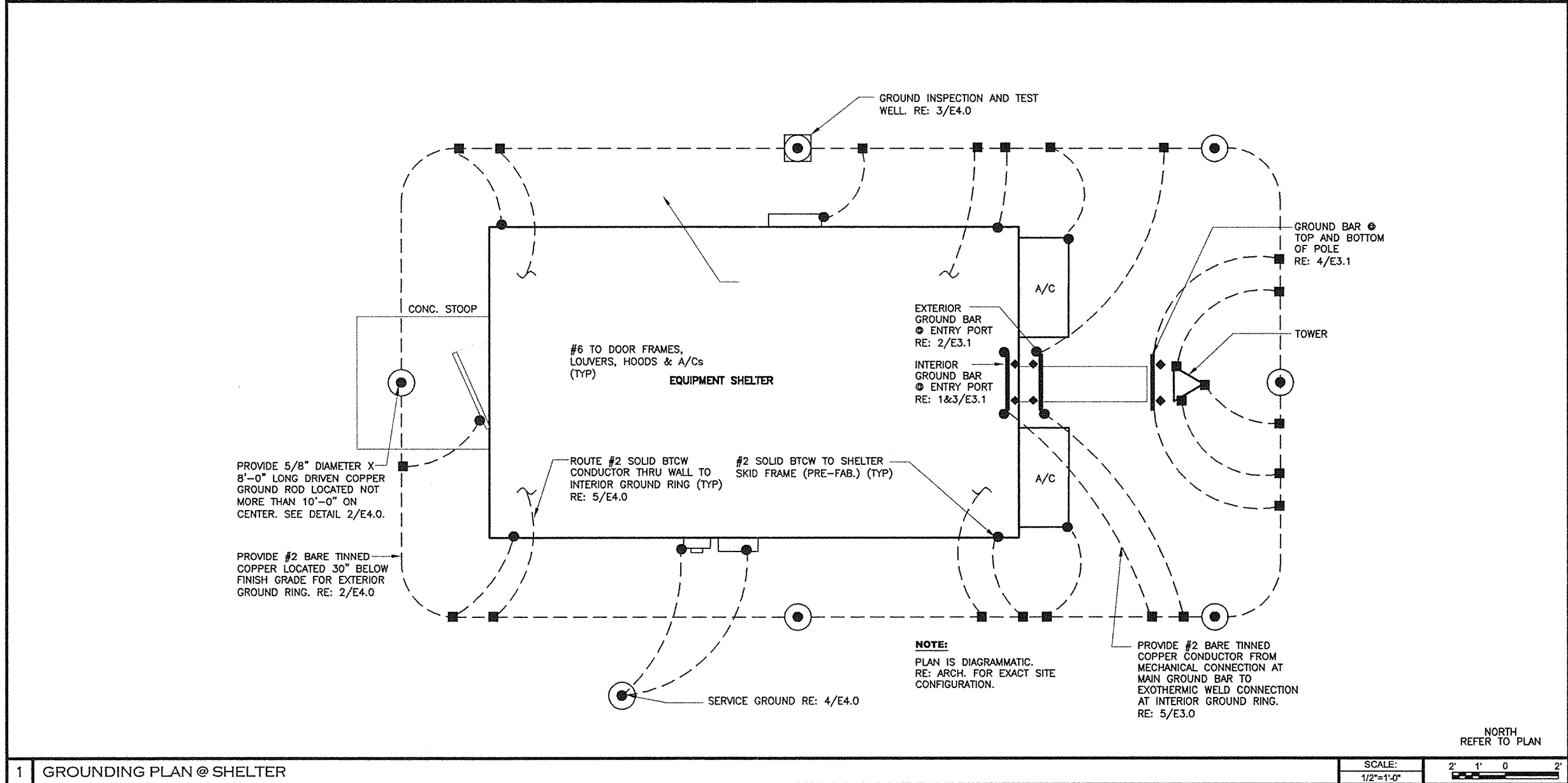
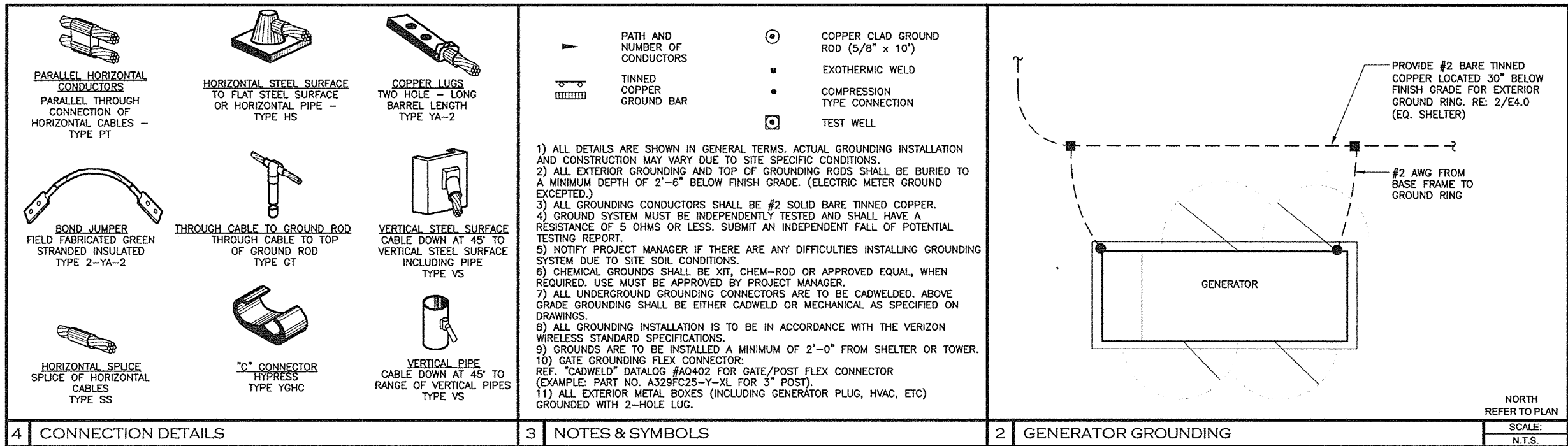
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ELECTRICAL  
SITE PLAN

SHEET NUMBER:

E2.0

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PLOTTED Apr 23, 2012 AT 11:10am



VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

**CO3 POP GUN POP**

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

REV:	DATE:	DESCRIPTION:	BY:
A	09/20/11	CD REVIEW	SSB
B	11/15/11	GENERATOR ADD	SSB
C	02/22/12	UPDATED FIBER ROUTE	SSB
D	04/16/12	UPDATED FIBER ROUTE	SSB
E	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

**CHARLES STECKLY ARCHITECTURE, Inc.**  
ARCHITECTURE - PLANNING - DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.432.6561

32097  
APR 24 2012  
DENVER, COLORADO

DRAWN BY:			APV:
SSB	TN	CS	

CONSULTANT:

**DENNIS GREVEL, P.E.**  
12311 WEST PRENTICE PLACE  
LITTLETON, COLORADO 80127  
PHONE: 303.478.3337

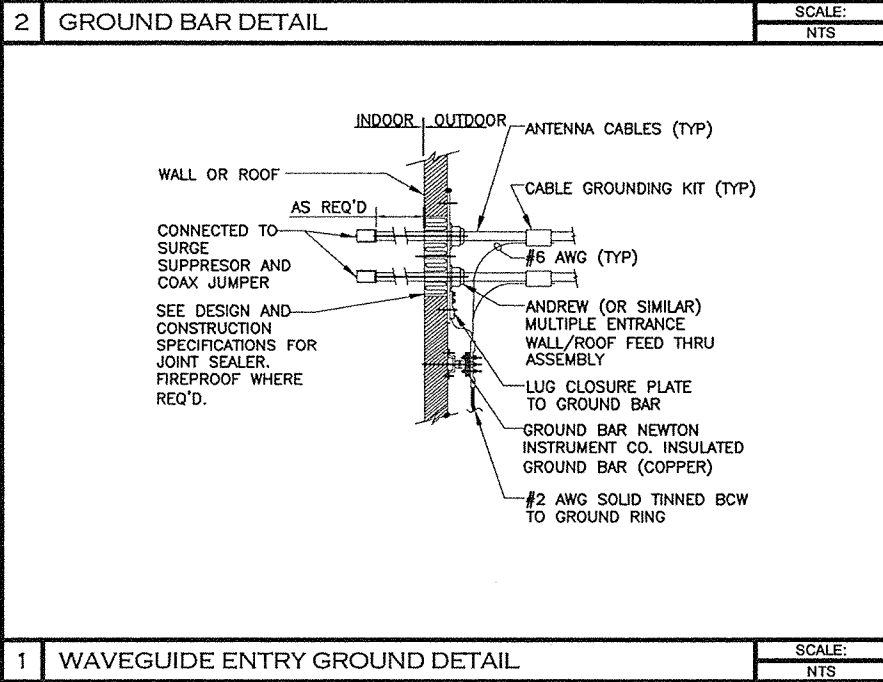
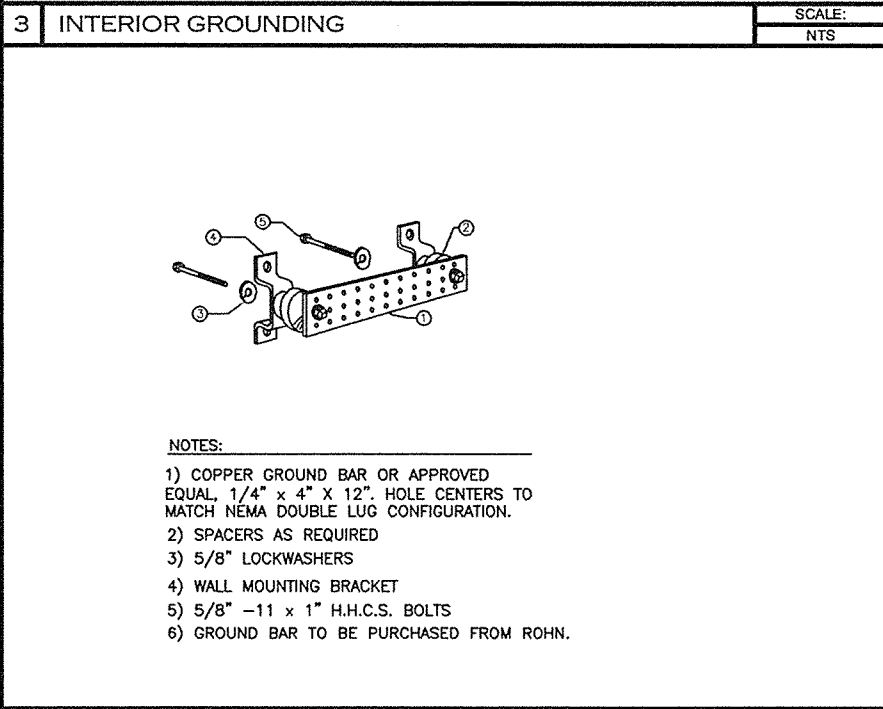
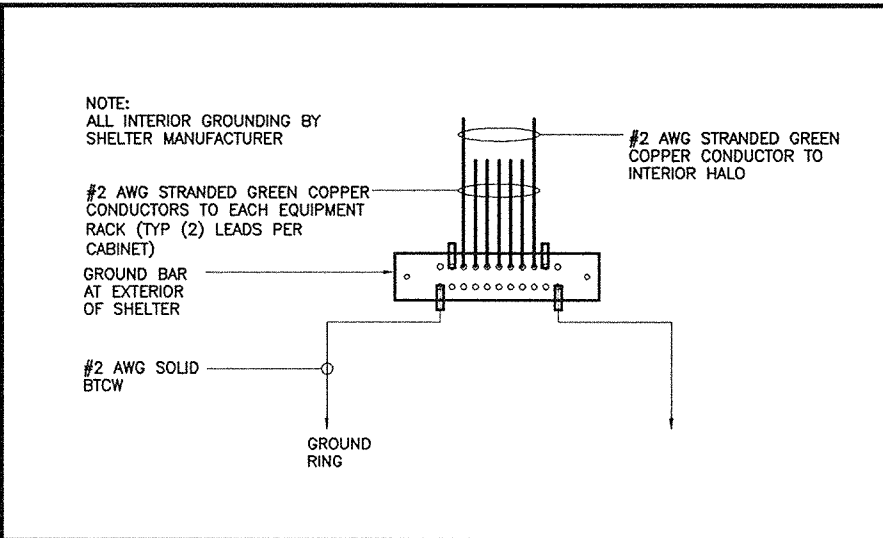
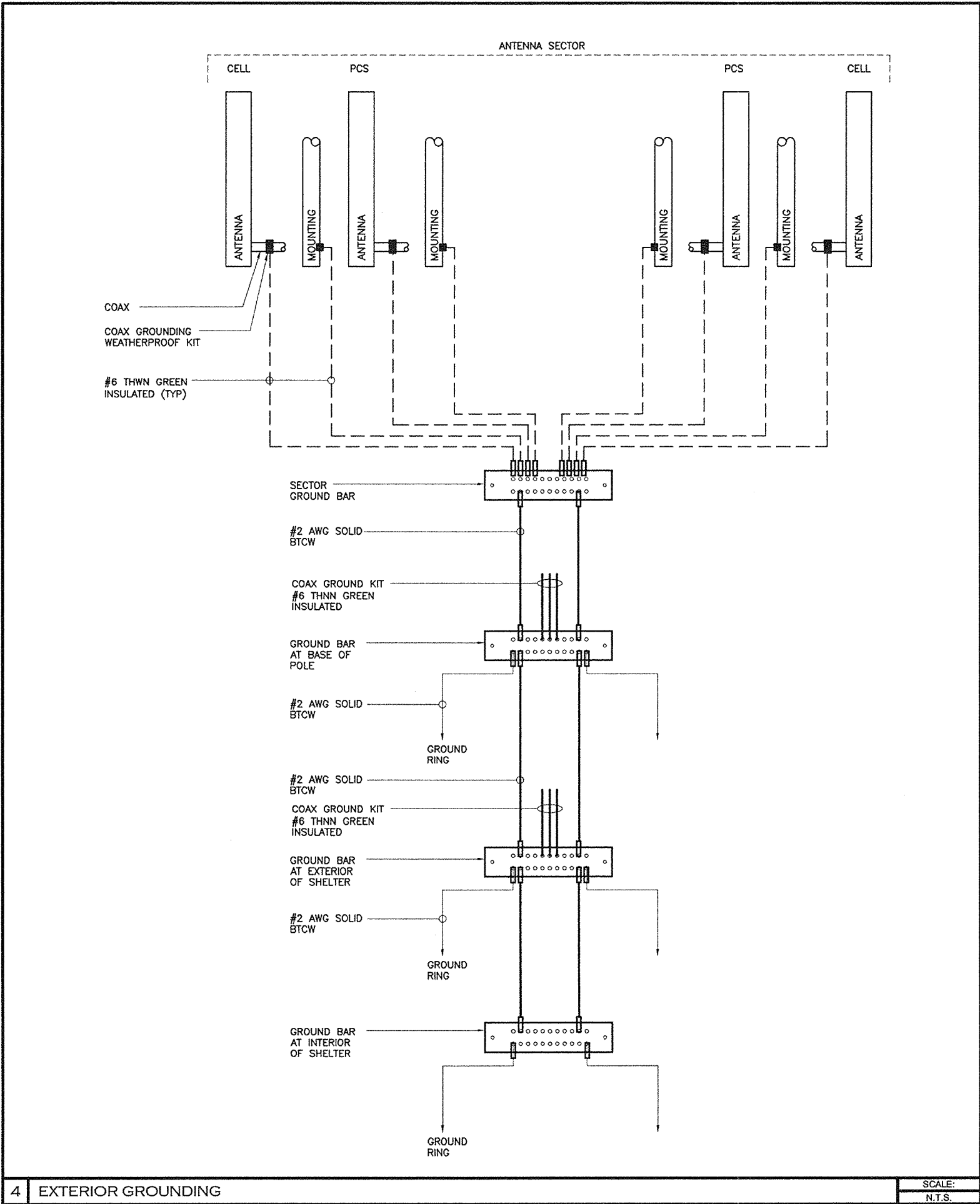
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**GROUNDING  
PLAN**

SHEET NUMBER:

**E3.0**





VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

REV:	DATE:	DESCRIPTION:	BY:
A	09/20/11	CD REVIEW	SSB
B	11/15/11	GENERATOR ADD	SSB
C	02/22/12	UPDATED FIBER ROUTE	SSB
D	04/18/12	UPDATED FIBER ROUTE	SSB
0	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

**CSAi**  
CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE - PLANNING - DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.932.6561

32097

APR 24 2012

DRN: SSB, TN, CS

CONSULTANT:

DENNIS GREVEL, P.E.  
12311 WEST PRENTICE PLACE  
LITTLETON, COLORADO 80127  
PHONE: 303.478.3337

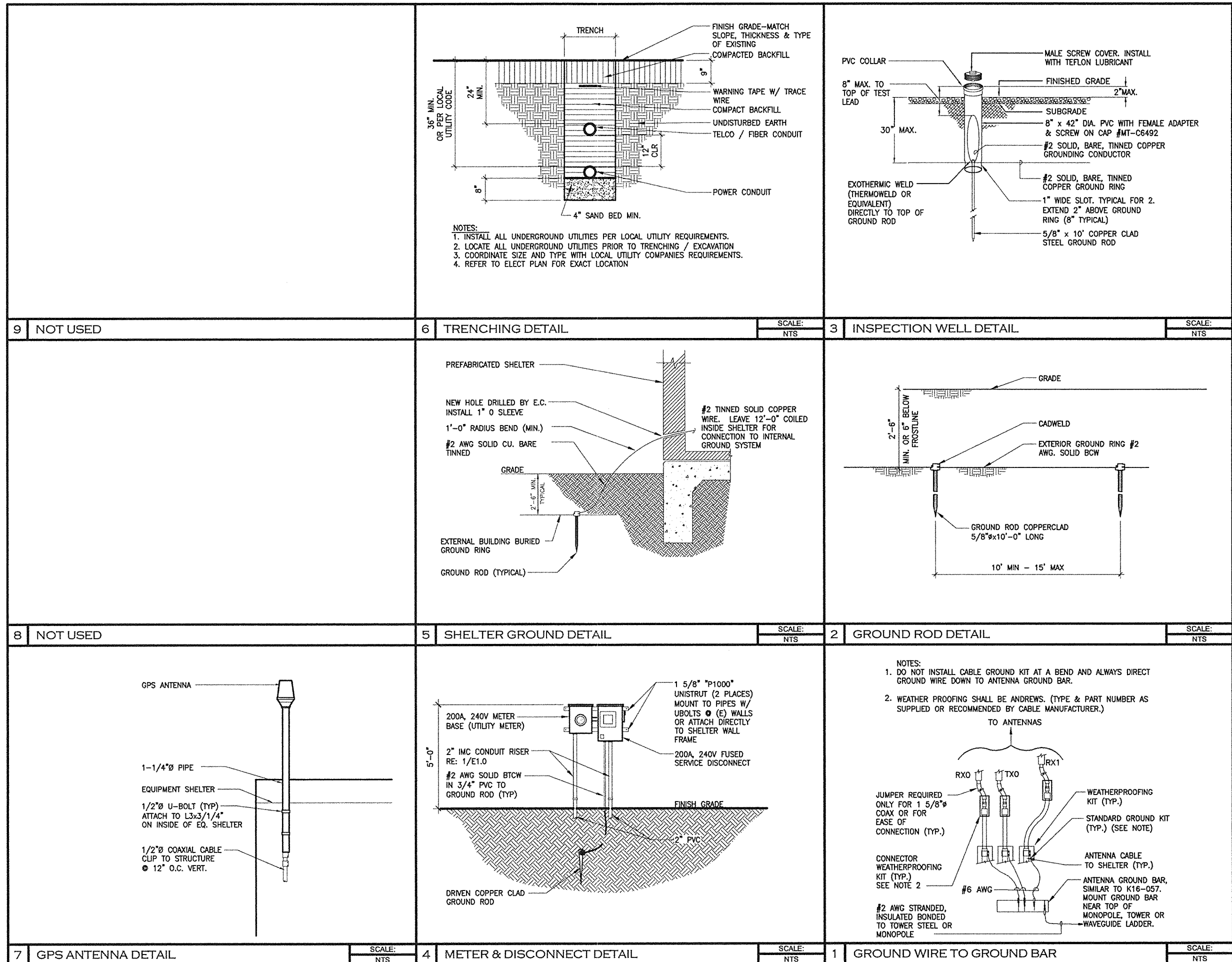
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VERIZON WIRELESS SERVICES  
3131 S. VAUGHN WAY, SUITE 550  
AURORA, CO 80014

PROJECT INFORMATION:

CO3 POP GUN POP

1445 STATE HIGHWAY 135,  
GUNNISON, CO 81230

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A	09/20/11	CD REVIEW	SSB
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C	02/22/12	UPDATED FIBER ROUTE	SSB
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E	04/23/12	CD ISSUE	SSB

PLANS PREPARED BY:

CHARLES STECKLY ARCHITECTURE, Inc.  
ARCHITECTURE — PLANNING — DESIGN  
5935 SOUTH ZANG STREET, SUITE 280  
LITTLETON, COLORADO 80127  
OFFICE: 303.932.9974  
FAX: 303.932.6561

DRAWN BY: SSB  
CHECKED BY: TR  
APV: CS

CONSULTANT:

DENNIS GREVEL, P.E.  
12311 WEST PRENTICE PLACE  
LITTLETON, COLORADO 80127  
303.478.3337

SHEET TITLE:

ELECTRICAL  
DETAILS

SHEET NUMBER:

E4.0